

Stormwater Division

MEMORANDUM

DATE: March 4, 2010
TO: Michael J. Gillis, Virginia Correctional Enterprises Document Management Services
FROM: Jo Anna Ripley, Stormwater
PO: 270712
RE: Files Approved for Scanning

General File ID or BMP ID: PC231

PIN: 4610100002A

Subdivision, Tract, Business or Owner

Name (if known):

Williamsburg Community Chapel

Property Description:

Church site

Site Address:

3899 John Tyler Highway

(For internal use only)

Box 5

Drawer: 3

Agreements: (in file as of scan date)

N

Book or Doc#:

Page:

Comments

This is a combined file with PC076, PC231, and PC232, 063, PC122

Date Record Created:

Created By:

WS_BMPNO:

PC231

WATERSHED

PC

BMP ID NO

231

PLAN NO

SP-17-05

TAX PARCEL

PIN NO

CONSTRUCTION DATE

PROJECT NAME

Williamsburg Comm Chapel Bldg Expan

FACILITY LOCATION

3899 John Tyler Highway

CITY-STATE

Williamsburg, VA 23185

CURRENT OWNER

Williamsburg Community Chapel

OWNER ADDRESS

3899 John Tyler Highway

OWNER ADDRESS 2

CITY-STATE-ZIP CODE

Williamsburg, VA 23185

OWNER PHONE

0

MAINT AGREEMENT

No

EMERG ACTION PLAN

No

Get Last BMP No

Return to Menu

Print Record

PRINTED ON
Thursday, March 04, 2010
4:27:36 PM

MAINTENANCE PLAN

No

SITE AREA acre

15.06

LAND USE

old BMP TYP

JCC BMP CODE

POINT VALUE

CTRL STRUC DESC

CTRL STRUC SIZE inches

OTLT BARRL DESC

OTLT BARRL SIZE inch

F2

Dry Pond

Dry ED with forebay

EMERG SPILLWAY

No

DESIGN HW ELEV

PERM POOL ELEV

2-YR OUTFLOW cfs

10-YR OUTFLOW cfs

REC DRAWING

CONSTR CERTIF

No

IMPERV AREA acres

8.74

RECV STREAM

EXT DET-WQ-CTRL

No

WTR QUAL VOL acre-ft

CHAN PROT CTRL

No

CHAN PROT VOL acre-ft

SW/FLOOD CONTROL

No

GEOTECH REPORT

No

Additional Comments:

Inspected by:

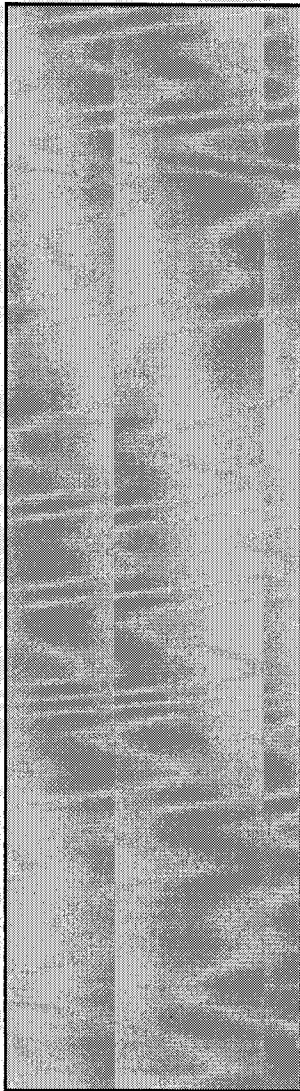
Greg Johnson

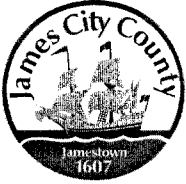
LAST INSP DATE 12/23/2008

INTERNAL RATING

MISC/COMMENTS

East Side perimeter BMP





**James City County Environmental Division
Stormwater Management/BMP Record Drawing and
Construction Certification Review Tracking Form**

Project Name: Williamsburg Community Chapel Building Expansion
County Plan No.: SP-17-05
Stormwater Management Facility: Dry Pond Shallow Marsh
BMP Phase #: ☐ I ☐ II ☒ III
☒ Information Package Received. Date/By: 7/25/08
☐ Completeness Check:
 ☒ Record Drawing Date/By: 8/15/08 Jason Grimes
 ☒ Construction Certification Date/By: 8/15/08 Jason Grimes
 ☒ RD/CC Standard Forms (Required for all BMPs after Feb 1st 2001 Only)
 ☒ Insp/Maint Agreement # / Date: 12/94
 ☒ BMP Maintenance Plan Location: Sheet 12
 ☐ Other: _____
☒ Standard E&SC Note on Approved Plan Requiring RD/CC or County comment in plan review
 ☐ Yes ☐ No Location: Item 20 Sheet 10
☒ Assign County BMP ID Code #: Code: PC231
☒ Preliminary Input/Log into Division's "As-Built Tracking Log"
☒ Add Location to GIS Map. Obtain basic site information (GPIN, Owner, Address, etc.)
☒ Preliminary Log into Access Database (BMP ID #, Plan No., GPIN, Project Name, etc.)
☒ Active Project File Review (correspondence, H&H, design computations, etc.).
☒ Initial As-Built File setup (File label, folder, copy plan/details/design information, etc.).
☒ Inspector Check of RD/CC (forward to Inspector using transmittal for cursory review).
☒ Pre-Inspection Drawing Review of Approved Plan (Quick look prior to Field Inspection).
☒ Final Inspection (FI) Performed Date: 12/23/08
☒ Record Drawing (RD) Review Date: 12/23/08
☒ Construction Certification (CC) Review Date: 12/23/08
☒ Actions:
 ☐ No comments.
 ☒ Comments. Letter Forwarded. Date: 9/22/08
 ☐ Record Drawing (RD)
 ☐ Construction Certification (CC)
 ☐ Construction-Related (CR)
 ☒ Site Issues (SI)
 ☐ Other: _____
☒ Second Submission: NA
☒ Reinspection (if necessary): 12/23/08
☒ Acceptable for SWM Purposes (RD/CC/CR/Other). OK to proceed with bond release.
☒ Complete "Surety Request Form".
☒ Check/Clean active file of any remaining material and finish "As-Built" file.
☒ Add to County BMP Inventory/Inspection schedule (Phase I, II or III).
 ☐ Copy Final Inspection Report into County BMP Inspection Program file.
☒ Obtain Digital Photographs of BMP and save into County BMP Inventory.
☒ Request mylar/reproducible from As-Built plan preparer.
☒ Complete "As-built Tracking Log".
☒ Last check of BMP Access Database (County BMP Inventory).
 ☐ Add BMP to JCC Hydrology & Hydraulic database (optional).
 ☐ Add BMP to Municipal BMP list (if a County-owned facility)
 ☐ Add BMP to PRIDE BMP ratings database.

Final Sign-Off

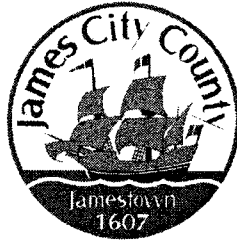
Inspector: [Signature]

Date: 1/12/09

Chief Engineer: _____

Date: _____

*** See separate checklist, if needed.



James City County, Virginia
Environmental Division

Stormwater Management / BMP Facilities
Record Drawing and Construction Certification Forms

(Note: In accordance with the requirements of the Chesapeake Bay Preservation Ordinance, Chapter 23, Section 23-10(4), BMP's shall be designed and constructed in accordance with the manual entitled James City County Guidelines for Design and Construction of Stormwater Management BMP's. Erosion and sediment control policy and approved plans generally require that at the completion of the project and prior to release of surety, an "as-built" plan prepared by a registered Professional Engineer or Certified Land Surveyor must be provided for the drainage system for the project, including any Best Management Practice (BMP) facilities. In addition, for BMP facilities involving the construction of an impounding structure or dam embankment, certification is required by a Professional Engineer who has inspected the structure during its construction. Currently there are over 20 water quality type BMP's accepted by the County.)

Section 1 – Site Information:

Project Name: Williamsburg Community Chapel Building Expansion
Structure/BMP Name: East Side Dry Pond **(PC 231)**
Project Location: John Tyler Highway (Route 5)
BMP Location: Northwest side of parking lot
County Plan No.: SP - 17 - 05

Project Type: ☐ Residential ☐ Business Tax Map/Parcel No.: (46-1)(1-2A)
☐ Commercial ☐ Office BMP ID Code (if known): n/a
☒ Institutional ☐ Industrial Zoning District: R-8
☐ Public ☐ Roadway Land Use:
☐ Other Site Area (sf or acres): 15.06 AC.+

Brief Description of Stormwater Management/BMP Facility: East Side Wet Swale (located at the eastern portion of the property between the Chapel building and the Seventh Day Adventist Building)

Nearest Visible Landmark to SWM/BMP Facility: _____

Nearest Vertical Ground Control (if known):
☒ JCC Geodetic Ground Control ☐ USGS ☐ Temporary ☐ Arbitrary ☐ Other
Station Number or Name: Monument 320
Datum or Reference Elevation: 30.18ft
Control Description: _____

Control Location from Subject Facility: Located at the entrance of St George's Hundred subdivision on John Tyler Hwy

Section 2 – Stormwater Management / BMP Facility Construction Information:

PreConstruction Meeting Held for Construction of SWM/BMP Facility: ☒ Yes ☐ No ☐ Unknown
Approx. Construction Start Date for SWM/BMP Facility: _____ Unknown
Facility Monitored by County Representative during Construction: ☒ Yes ☐ No ☐ Unknown
Name of Site Work Contractor Who Constructed Facility: _____ CA Barrs
Name of Professional Firm Who Routinely Monitored Construction: _____ AES
Date of Completion for SWM/BMP Facility: _____ Unknown
Date of Record Drawing/Construction Certification Submittal: _____ 6/26/08

(Note: Record Drawing and Construction Certifications are required within thirty (30) days of the completion of Stormwater Management and/or BMP facility construction. Record Drawings and Construction Certifications must be reviewed and approved by the James City County Environmental Division prior to final inspection, acceptance and bond or surety release.)

Section 3 – Owner / Designer / Contractor Information:

Owner/Developer: *(Note: Site Owner or Applicant responsible for development of the project.)*

Name: _____ Williamsburg Community Chapel
Mailing Address: _____ 3899 John Tyler Highway
_____ Williamsburg, VA 23188
Business Phone: _____ 229-7152 Fax: _____ 229-4310
Contact Person: _____ Kevin Wilkins/ Rob Campbell Title: _____

Design Professional: *(Note: Professional Engineer or Certified Land Surveyor responsible for the design and preparation of plans and specifications for the Stormwater Management / BMP facility.)*

Firm Name: _____ AES Consulting Engineers
Mailing Address: _____ 5248 Olde Towne Road, Suite 1
_____ Williamsburg, VA 23188
Business Phone: _____ 757-253-0040
Fax: _____ 757-220-8994
Responsible Plan Preparer: _____ Jason Grimes, P.E.
Title: _____ Project Engineer
Plan Name: _____ Williamsburg Community Chapel Building Expansion
Firm's Project No. _____ 9151-02
Plan Date: _____
Sheet No.'s Applicable to SWM/BMP Facility: _____ 1 / _____ 6 / _____ 10 / _____ 12 / _____

BMP Contractor: *(Note: Site Work Contractor directly responsible for construction of the Stormwater Management / BMP facility.)*

Name: _____ CA Barrs
Mailing Address: _____ PO Box 1489
_____ Yorktown, VA 23692
Business Phone: _____ 898-7282
Fax: _____ 898-1282
Contact Person: _____ Steve Barrs
Site Foreman/Supervisor: _____
Specialty Subcontractors & Purpose (for BMP Construction Only): _____ N/A

Section 4 – Professional Certifications:

Certifying Professionals: *(Note: A Registered Professional Engineer or Certified Land Surveyor is responsible for preparation of a Record Drawing, sometimes referred to as an As-Built plan, for the drainage system for the project including any Stormwater Management/BMP Facilities. A Registered Professional Engineer is responsible for the inspection, monitoring and certification of Stormwater Management / BMP facilities during its construction.)*

Record Drawing and Construction Certifications for Stormwater Management / BMP Facilities

Record Drawing Certification

Firm Name: AES Consulting Engineers
Mailing Address: 5248 Olde Towne Road
Williamsburg, VA 23188
Business Phone: 757-253-0040
Fax: 757-220-8994

Name: Jason Grimes
Title: Project Manager

Signature: _____
Date: _____

I hereby certify to the best of my knowledge and belief that this record drawing represents the actual condition of the Stormwater Management / BMP facility. The facility appears to conform with the provisions of the approved design plan, specifications and stormwater management plan, except as specifically noted.

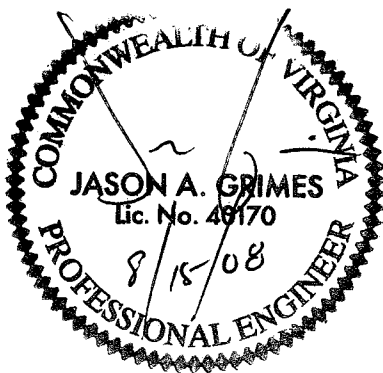
Construction Certification

Firm Name: AES Consulting Engineers
Mailing Address: 5248 Olde Towne Road
Williamsburg, VA 23188
Business Phone: 757-253-0040
Fax: 757-220-8994

Name: Jason Grimes
Title: Project Manager

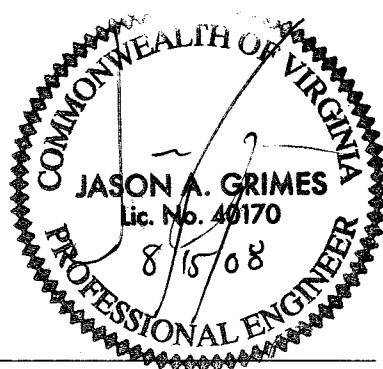
Signature: _____
Date: _____

I hereby certify to the best of my knowledge and belief that this Stormwater Management / BMP facility was monitored and constructed in accordance with the provisions of the approved design plan, specifications and stormwater management plan, except as specifically noted.



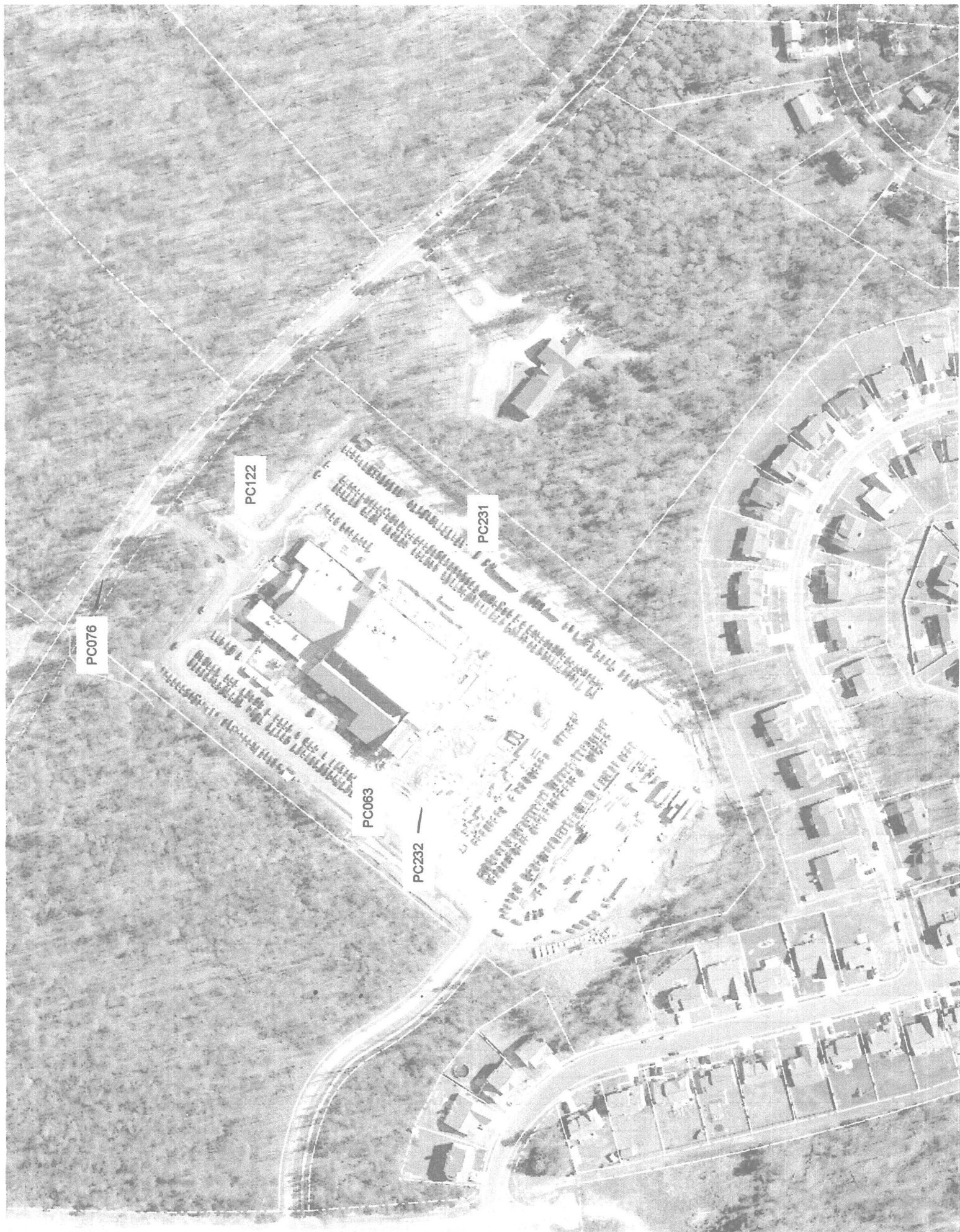
(Seal)

Virginia Registered Professional Engineer
Or Certified Land Surveyor



(Seal)

Virginia Registered
Professional Engineer



PC076

PC122

PC231

PC063

PC232



James City County Environmental Division

Stormwater Management / BMP Inspection Report

Infiltration Basin and Trench Facilities

County BMP ID Code (if known): PC-231

Name of Facility: Williamsburg Community Chapel BMP No.: _____ Date: 8/1/08

Location: _____ (East side BMP)

Name of Owner: _____

Name of Inspector: GREGORY B. JOHNSON

Type of Facility: Place of Worship

Weather Conditions: Warm Type: ☒ Final Inspection ☐ County BMP Inspection Program ☐ Owners Inspection

If an inspection item is not applicable, mark NA, otherwise mark the appropriate column.

O.K. - The item checked is in adequate condition and the maintenance program is currently satisfactory. No action required.

Routine - The item checked requires attention, but does not present an immediate threat to the function/integrity of the BMP.

Urgent - The item checked requires immediate attention to keep the BMP operational and prevent damage to the facility.

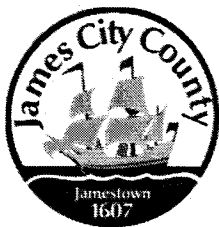
Provide an explanation and details in the comment column, if routine or urgent are marked.

Facility Item	O.K.	Routine	Urgent	Comments
Accessibility:				
Roads	✓			
Parking Areas	✓			
Gates	NA			
Locks	NA			
Safety Fencing	NA			
Observation Wells/Areas:				
Trap Doors	NA			
Manhole Covers	NA			
Grates	.			
Steps	NA			
Pretreatment Devices: <input type="checkbox"/> Inlet <input type="checkbox"/> Sump <input type="checkbox"/> Forebay <input type="checkbox"/> Other				
Sediment		✓		
Trash & Debris		✓		
Structure	NA			
Other				

Facility Item	O.K.	Routine	Urgent	Comments
Primary Storage/ Infiltration Area:				
Trash & Debris		✓		Remove debris/trash from pond
Sediment		✓		Needs removed from pond
Ponding / Drawdown	✓			
Surface Aggregates	✓			
Aesthetics		✓		Plants missing
Other	NA			
Inlet Structure # 1 (Describe Location):				
Condition of Structure				
Erosion				
Trash and Debris				
Sediment				
Aesthetics				
Other				
Inlet Structure # 2 (Describe Location):				
Condition of Structure				
Erosion				
Trash and Debris				
Sediment				
Aesthetics				
Other				
Inlet Structure # 3 (Describe Location):				
Condition of Structure				
Erosion				
Trash and Debris				
Sediment				
Aesthetics				
Other				
Outlets - Overflow or Bypass Control Structures (Describe Location):				
Condition of Structure				
Erosion				
Trash and Debris				
Sediment				
Other				
Nuisance Type Conditions:				

Facility Item	O.K.	Routine	Urgent	Comments
Mosquito Breeding	✓			
Animals, Rodents	✓			
Graffiti	✓			
Other	✓			
Perimeter (Contributing Drainage Area) Conditions:				
Stabilization		✓		Various slopes need stabilized
Vegetation Condition		✓		Planting missing areas need stabilized
Trash and Debris		✓		Remove trash/debris from pond
Aesthetics		✓		
Other				
Remarks: Several areas need back filled and stabilized				
Overall Environmental Division Internal Rating: _____				
Signature: <u>Cheryl B. John</u>			Date: _____	
Title: <u>Inspector</u>				

SWMPProg\BMP\CoInspProg\SubDetInfil.wpd



Stormwater Division

MEMORANDUM

DATE: March 4, 2010
TO: Michael J. Gillis, Virginia Correctional Enterprises Document Management Services
FROM: Jo Anna Ripley, Stormwater
PO: 270712
RE: Files Approved for Scanning

General File ID or BMP ID: PC232

PIN: 4610100002A

Subdivision, Tract, Business or Owner

Name (if known):

Williamsburg Community Chapel

Property Description:

Church site

Site Address:

3899 John Tyler Highway

(For internal use only)

Box 5

Drawer: 3

Agreements: (in file as of scan date)

N

Book or Doc#:

Page:

Comments

This is a combined file with PC076, PC231, and PC232, 063, PC122

Date Record Created:

Created By:

WS_BMPNO:

PC232

WATERSHED

PC

BMP ID NO

232

PLAN NO

SP-17-05

TAX PARCEL

PIN NO

CONSTRUCTION DATE

PROJECT NAME

Williamsburg Comm Chapel Bldg Expan

FACILITY LOCATION

3899 John Tyler Highway

CITY-STATE

Williamsburg, VA 23185

CURRENT OWNER

Williamsburg Comm Chapel

OWNER ADDRESS

3899 John Tyler Highway

OWNER ADDRESS 2

CITY-STATE-ZIP CODE

Williamsburg, VA 23185

OWNER PHONE

0

MAINT AGREEMENT

No

EMERG ACTION PLAN

No

Get Last BMP No

Return to Menu

Print Record

PRINTED ON
Thursday, March 04, 2010
4:27:27 PM

MAINTENANCE PLAN

Yes

SITE AREA acre

15.06

LAND USE

old BMP TYP

JCC BMP CODE

POINT VALUE

CTRL STRUC DESC

CTRL STRUC SIZE inches

OTLT BARRL DESC

OTLT BARRL SIZE inch

F2 Dry ED with forebay

EMERG SPILLWAY

Yes

DESIGN HW ELEV

PERM POOL ELEV

2-YR OUTFLOW cfs

10-YR OUTFLOW cfs

REC DRAWING

Yes

SVC DRAIN AREA acres

Parking Lot

SERVICE AREA DESCRI

IMPERV AREA acres

CONSTR CERTIF

No

RECV STREAM

Powhatan Creek

EXT DET-WQ-CTRL

No

LAST INSP DATE 12/23/2008

Inspected by:

Greg Johnson

WTR QUAL VOL acre-ft

CHAN PROT CTRL

No

CHAN PROT VOL acre-ft

SWFLOOD CONTROL

No

GEOTECH REPORT

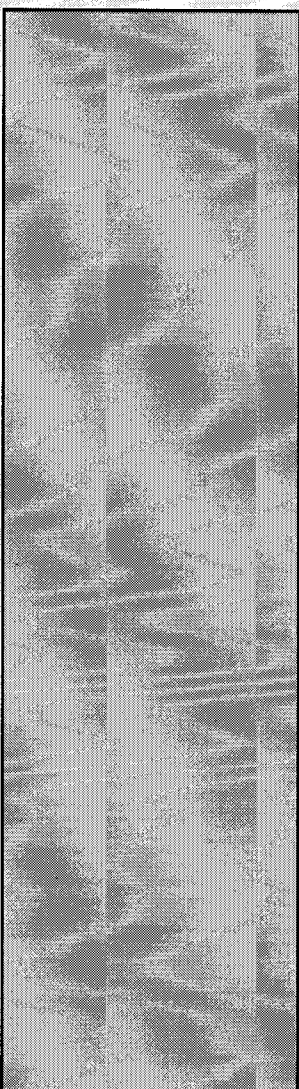
No

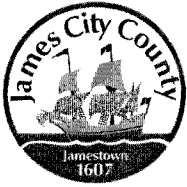
INTERNAL RATING

MISC/COMMENTS

West side perimeter BMP

Additional Comments:





**James City County Environmental Division
Stormwater Management/BMP Record Drawing and
Construction Certification Review Tracking Form**

Project Name: Williamsburg Community Chapel Building Expansion
County Plan No.: SP-17-05 (SP-07-07, SP-39-07 Amend)
Stormwater Management Facility: Dry Pond - Shallow Marsh
BMP Phase #: ☐ I ☐ II ☒ III
☒ Information Package Received. Date/By: 7/25/08 ABS
☒ Completeness Check:
 ☒ Record Drawing Date/By: 7/25/08 Jason Quinn
 ☒ Construction Certification Date/By: 7/25/08 Jason Quinn
 ☒ RD/CC Standard Forms (Required for all BMPs after Feb 1st 2001 Only)
 ☒ Insp/Maint Agreement # / Date: 12/94
 ☒ BMP Maintenance Plan Location: Page/Sheet 12
 ☐ Other: _____
☒ Standard E&SC Note on Approved Plan Requiring RD/CC or County comment in plan review
 ☒ Yes ☐ No Location: Item 20 Sheet 10
☒ Assign County BMP ID Code #: Code: PC-232
☒ Preliminary Input/Log into Division's "As-Built Tracking Log"
☒ Add Location to GIS Map. Obtain basic site information (GPIN, Owner, Address, etc.)
☒ Preliminary Log into Access Database (BMP ID #, Plan No., GPIN, Project Name, etc.)
☒ Active Project File Review (correspondence, H&H, design computations, etc.)
☒ Initial As-Built File setup (File label, folder, copy plan/details/design information, etc.)
☒ Inspector Check of RD/CC (forward to Inspector using transmittal for cursory review).
☒ Pre-Inspection Drawing Review of Approved Plan (Quick look prior to Field Inspection).
☒ Final Inspection (FI) Performed Date: 12/23/08
☒ Record Drawing (RD) Review Date: 12/23/08
☒ Construction Certification (CC) Review Date: 12/23/08
☒ Actions:
 ☐ No comments.
 ☒ Comments. Letter Forwarded. Date: 9/22/08
 ☐ Record Drawing (RD)
 ☐ Construction Certification (CC)
 ☒ Construction-Related (CR)
 ☒ Site Issues (SI)
 ☐ Other: _____
☒ Second Submission: NA
☒ Reinspection (if necessary): 12/23/08
☒ Acceptable for SWM Purposes (RD/CC/CR/Other). Ok to proceed with bond release.
☒ Complete "Surety Request Form".
☒ Check/Clean active file of any remaining material and finish "As-Built" file.
☒ Add to County BMP Inventory/Inspection schedule (Phase I, II or III).
 ☐ Copy Final Inspection Report into County BMP Inspection Program file.
☒ Obtain Digital Photographs of BMP and save into County BMP Inventory.
☒ Request mylar/reproducible from As-Built plan preparer.
☒ Complete "As-built Tracking Log".
☒ Last check of BMP Access Database (County BMP Inventory).
 ☐ Add BMP to JCC Hydrology & Hydraulic database (optional).
 ☐ Add BMP to Municipal BMP list (if a County-owned facility)
 ☐ Add BMP to PRIDE BMP ratings database.

Final Sign-Off

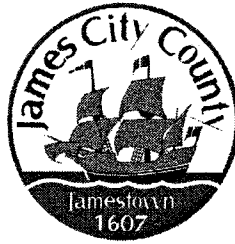
Inspector: _____

Date: _____

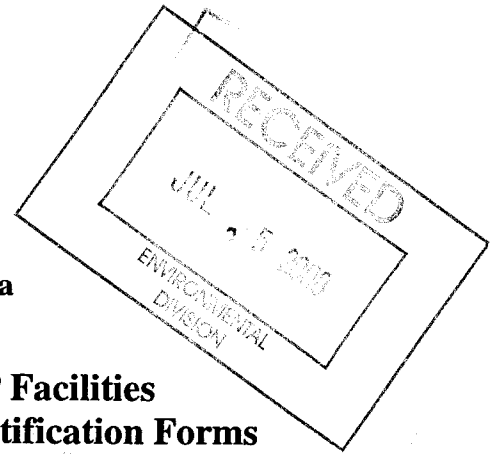
Chief Engineer: _____

Date: _____

*** See separate checklist, if needed.



James City County, Virginia
Environmental Division



**Stormwater Management / BMP Facilities
Record Drawing and Construction Certification Forms**

(Note: In accordance with the requirements of the Chesapeake Bay Preservation Ordinance, Chapter 23, Section 23-10(4), BMP's shall be designed and constructed in accordance with the manual entitled James City County Guidelines for Design and Construction of Stormwater Management BMP's. Erosion and sediment control policy and approved plans generally require that at the completion of the project and prior to release of surety, an "as-built" plan prepared by a registered Professional Engineer or Certified Land Surveyor must be provided for the drainage system for the project, including any Best Management Practice (BMP) facilities. In addition, for BMP facilities involving the construction of an impounding structure or dam embankment, certification is required by a Professional Engineer who has inspected the structure during its construction. Currently there are over 20 water quality type BMP's accepted by the County.)

Section 1 – Site Information:

Project Name: Williamsburg Community Chapel Building Expansion
Structure/BMP Name: West Side Dry Pond (PC-232)
Project Location: John Tyler Highway (Route 5)
BMP Location: Northwest side of parking lot
County Plan No.: SP - 17 - 05

Project Type: ☐ Residential ☐ Business Tax Map/Parcel No.: (46-1)(1-2A)
☐ Commercial ☐ Office BMP ID Code (if known): PC076 ; N/A ; N/A
☒ Institutional ☐ Industrial Zoning District: R-8
☐ Public ☐ Roadway Land Use:
☐ Other Site Area (sf or acres): 15.06 AC.+

Brief Description of Stormwater Management/BMP Facility: West Side Wet Swale; East Side Wet Swale and Modifications to existing timber crib PC076

Nearest Visible Landmark to SWM/BMP Facility: _____

Nearest Vertical Ground Control (if known):

☒ JCC Geodetic Ground Control ☐ USGS ☐ Temporary ☐ Arbitrary ☐ Other

Station Number or Name: Monument 320

Datum or Reference Elevation: 30.18ft

Control Description: _____

Control Location from Subject Facility: Located at the entrance of St George's Hundred subdivision on John Tyler Hwy

Section 2 – Stormwater Management / BMP Facility Construction Information:

PreConstruction Meeting Held for Construction of SWM/BMP Facility: ☒ Yes ☐ No ☐ Unknown
Approx. Construction Start Date for SWM/BMP Facility: Unknown
Facility Monitored by County Representative during Construction: ☒ Yes ☐ No ☐ Unknown
Name of Site Work Contractor Who Constructed Facility: CA Barrs
Name of Professional Firm Who Routinely Monitored Construction: AES
Date of Completion for SWM/BMP Facility: Unknown
Date of Record Drawing/Construction Certification Submittal: 6/26/08

(Note: Record Drawing and Construction Certifications are required within thirty (30) days of the completion of Stormwater Management and/or BMP facility construction. Record Drawings and Construction Certifications must be reviewed and approved by the James City County Environmental Division prior to final inspection, acceptance and bond or surety release.)

Section 3 – Owner / Designer / Contractor Information:

Owner/Developer: *(Note: Site Owner or Applicant responsible for development of the project.)*

Name: Williamsburg Community Chapel
Mailing Address: 3899 John Tyler Highway
Williamsburg, VA 23188
Business Phone: 229-7152 Fax: 229-4310
Contact Person: Kevin Wilkins/ Rob Campbell Title: _____

Design Professional: *(Note: Professional Engineer or Certified Land Surveyor responsible for the design and preparation of plans and specifications for the Stormwater Management / BMP facility.)*

Firm Name: AES Consulting Engineers
Mailing Address: 5248 Olde Towne Road, Suite 1
Williamsburg, VA 23188
Business Phone: 757-253-0040
Fax: 757-220-8994
Responsible Plan Preparer: Jason Grimes, P.E.
Title: Project Engineer
Plan Name: Williamsburg Community Chapel Building Expansion
Firm's Project No. 9151-02
Plan Date: _____
Sheet No.'s Applicable to SWM/BMP Facility: 1 / 6 / 10 / 12 / _____

BMP Contractor: *(Note: Site Work Contractor directly responsible for construction of the Stormwater Management / BMP facility.)*

Name: CA Barrs
Mailing Address: PO Box 1489
Yorktown, VA 23692
Business Phone: 898-7282
Fax: 898-1282
Contact Person: Steve Barrs
Site Foreman/Supervisor: _____
Specialty Subcontractors & Purpose (for BMP Construction Only): N/A

Section 4 – Professional Certifications:

Certifying Professionals: *(Note: A Registered Professional Engineer or Certified Land Surveyor is responsible for preparation of a Record Drawing, sometimes referred to as an As-Built plan, for the drainage system for the project including any Stormwater Management/BMP Facilities. A Registered Professional Engineer is responsible for the inspection, monitoring and certification of Stormwater Management / BMP facilities during its construction.)*

Record Drawing and Construction Certifications for Stormwater Management / BMP Facilities

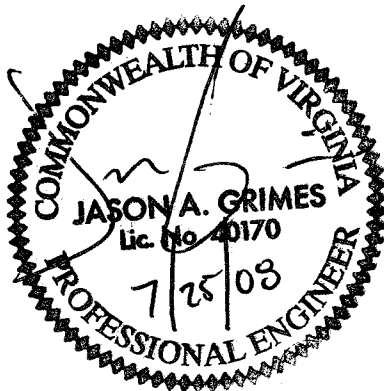
Record Drawing Certification

Firm Name: AES Consulting Engineers
Mailing Address: 5248 Olde Towne Road
Williamsburg, VA 23188
Business Phone: 757-253-0040
Fax: 757-220-8994

Name: Jason Grimes
Title: Project Manager

Signature: _____
Date: _____

I hereby certify to the best of my knowledge and belief that this record drawing represents the actual condition of the Stormwater Management / BMP facility. The facility appears to conform with the provisions of the approved design plan, specifications and stormwater management plan, except as specifically noted.



(Seal)
Virginia Registered Professional Engineer
Or Certified Land Surveyor

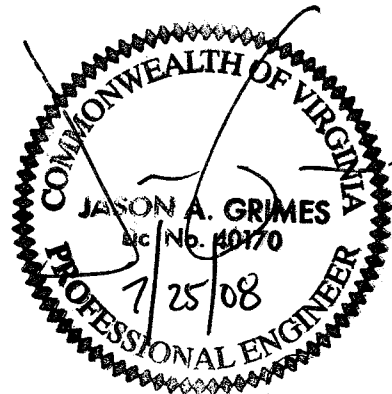
Construction Certification

Firm Name: AES Consulting Engineers
Mailing Address: 5248 Olde Towne Road
Williamsburg, VA 23188
Business Phone: 757-253-0040
Fax: 757-220-8994

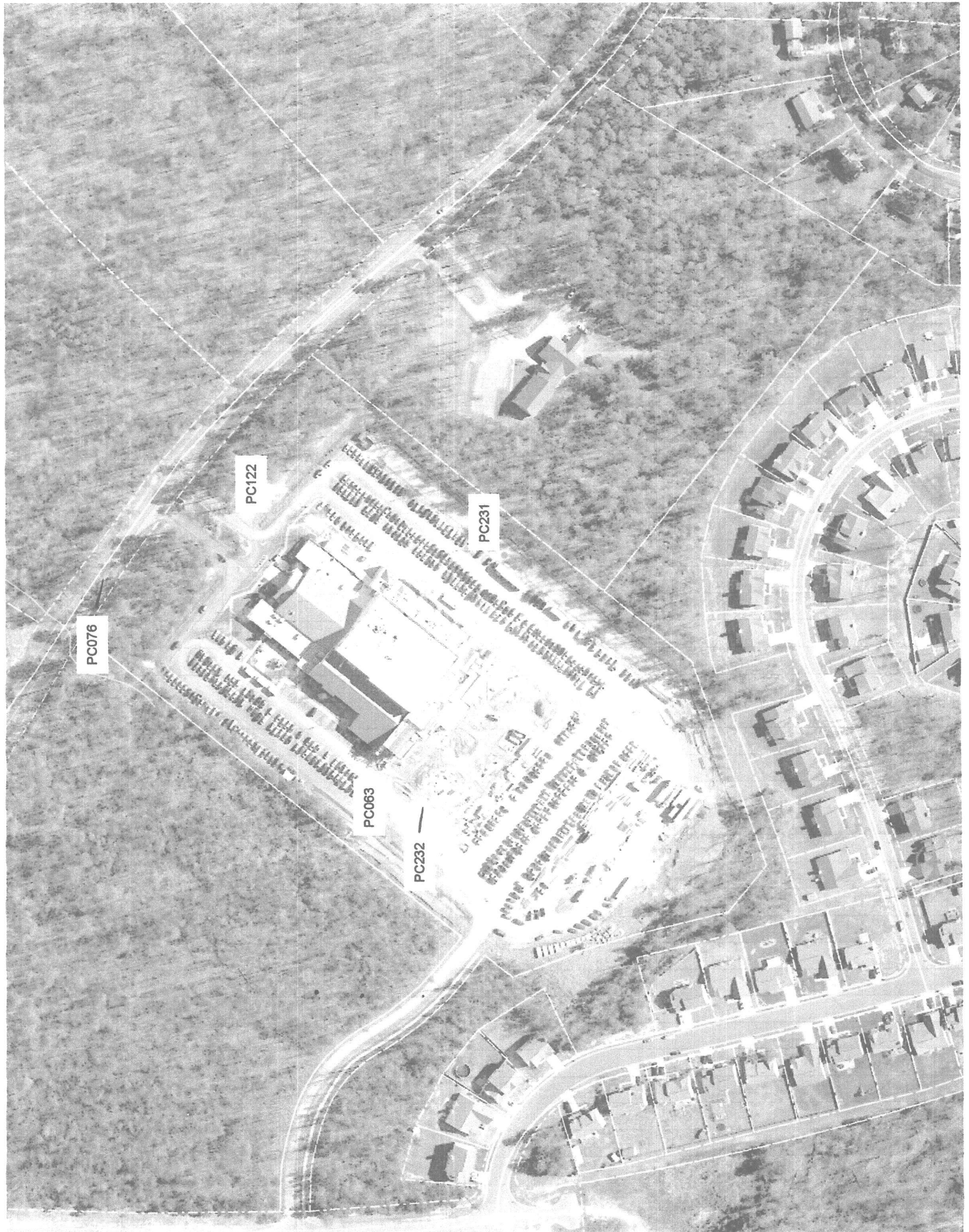
Name: Jason Grimes
Title: Project Manager

Signature: _____
Date: _____

I hereby certify to the best of my knowledge and belief that this Stormwater Management / BMP facility was monitored and constructed in accordance with the provisions of the approved design plan, specifications and stormwater management plan, except as specifically noted.



(Seal)
Virginia Registered
Professional Engineer



PC076

PC122

PC231

PC063

PC232

Date Record Created:

WS_BMPCNO:

Created By:

PC076

WATERSHED

PC

BMP ID NO

076

PLAN NO

SP-125-96

TAX PARCEL

(46-1)(1-2A)

PIN NO

4610100002A

CONSTRUCTION DATE

PROJECT NAME

Williamsburg Comm Chapel BMP 1

FACILITY LOCATION

3899 John Tyler Highway

CITY-STATE

CURRENT OWNER

Williamsburg Community Chapel

OWNER ADDRESS

3899 John Tyler Highway

OWNER ADDRESS 2

CITY-STATE-ZIP CODE

Williamsburg, Va. 23185

OWNER PHONE

MAINT AGREEMENT

Yes

EMERG ACTION PLAN

No

Get Last BMP No

Return to Menu

Print Record

PRINTED ON
Thursday, March 04, 2010
4:27:21 PM

MAINTENANCE PLAN

No

SITE AREA acre

15.2

LAND USE

Church

old BMP TYP

Timber Crib Wall

JCC BMP CODE

F1 Timber Walls

POINT VALUE

4

CTRL STRUC DESC

Perf Riser

CTRL STRUC SIZE inches

12

OTLT BARRL DESC

CMP Barrel

OTLT BARRL SIZE inch

12

EMERG SPILLWAY

No

DESIGN HW ELEV

31.4

PERM POOL ELEV

na

2-YR OUTFLOW cfs

31.47

10-YR OUTFLOW cfs

72.74

REC DRAWING

No

Church & Adjacent Parcel

SERVICE AREA DESCR

28.60

CONSTR CERTIF

No

IMPERV AREA acres

UT of Powhatan Creek

EXT DET-WQ-CTRL

Yes

LAST INSP DATE 12/23/2008

Inspected by:

Greg Johnson

WTR QUAL VOL acre-ft

0.47

INTERNAL RATING

1

CHAN PROT CTRL

No

CHAN PROT VOL acre-ft

MISC/COMMENTS

Modified per SP-17-05. Also see PC 122 & PC 063. Timber structure.

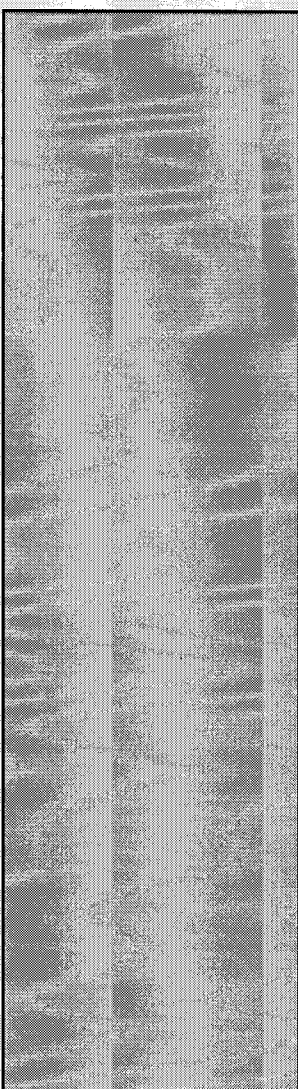
SW/FLOOD CONTROL

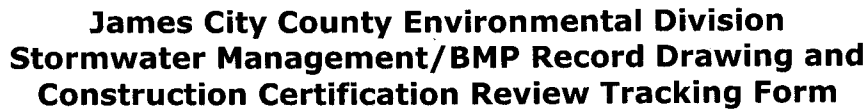
Yes

GEOTECH REPORT

No

Additional Comments:

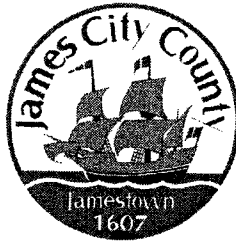




 Add BMP to PRIDE BMP ratings database.

Date: _____

*** See separate checklist, if needed.



James City County, Virginia
Environmental Division

Stormwater Management / BMP Facilities
Record Drawing and Construction Certification Forms

(Note: In accordance with the requirements of the Chesapeake Bay Preservation Ordinance, Chapter 23, Section 23-10(4), BMP's shall be designed and constructed in accordance with the manual entitled James City County Guidelines for Design and Construction of Stormwater Management BMP's. Erosion and sediment control policy and approved plans generally require that at the completion of the project and prior to release of surety, an "as-built" plan prepared by a registered Professional Engineer or Certified Land Surveyor must be provided for the drainage system for the project, including any Best Management Practice (BMP) facilities. In addition, for BMP facilities involving the construction of an impounding structure or dam embankment, certification is required by a Professional Engineer who has inspected the structure during its construction. Currently there are over 20 water quality type BMP's accepted by the County.)

Section 1 – Site Information:

Project Name: Williamsburg Community Chapel Building Expansion
Structure/BMP Name: Timber Crib (PC076)
Project Location: John Tyler Highway (Route 5)
BMP Location: Northwest side of parking lot
County Plan No.: SP - 17 - 05

Project Type: ☐ Residential ☐ Business Tax Map/Parcel No.: (46-1)(1-2A)
☐ Commercial ☐ Office BMP ID Code (if known): PC076
☒ Institutional ☐ Industrial Zoning District: R-8
☐ Public ☐ Roadway Land Use:
☐ Other Site Area (sf or acres): 15.06 AC.+

Brief Description of Stormwater Management/BMP Facility: Modifications to existing timber crib PC076 located adjacent to John Tyler Highway

Nearest Visible Landmark to SWM/BMP Facility:

Nearest Vertical Ground Control (if known):

☒ JCC Geodetic Ground Control ☐ USGS ☐ Temporary ☐ Arbitrary ☐ Other

Station Number or Name: Monument 320

Datum or Reference Elevation: 30.18ft

Control Description:

Control Location from Subject Facility: Located at the entrance of St George's Hundred subdivision on John Tyler Hwy

Section 2 – Stormwater Management / BMP Facility Construction Information:

PreConstruction Meeting Held for Construction of SWM/BMP Facility: ☒ Yes ☐ No ☐ Unknown
Approx. Construction Start Date for SWM/BMP Facility: _____ Unknown
Facility Monitored by County Representative during Construction: ☒ Yes ☐ No ☐ Unknown
Name of Site Work Contractor Who Constructed Facility: _____ CA Barrs
Name of Professional Firm Who Routinely Monitored Construction: _____ AES
Date of Completion for SWM/BMP Facility: _____ Unknown
Date of Record Drawing/Construction Certification Submittal: _____ 6/26/08

(Note: Record Drawing and Construction Certifications are required within thirty (30) days of the completion of Stormwater Management and/or BMP facility construction. Record Drawings and Construction Certifications must be reviewed and approved by the James City County Environmental Division prior to final inspection, acceptance and bond or surety release.)

Section 3 – Owner / Designer / Contractor Information:

Owner/Developer: *(Note: Site Owner or Applicant responsible for development of the project.)*

Name: _____ Williamsburg Community Chapel
Mailing Address: _____ 3899 John Tyler Highway
_____ Williamsburg, VA 23188
Business Phone: _____ 229-7152 Fax: _____ 229-4310
Contact Person: _____ Kevin Wilkins/ Rob Campbell Title: _____

Design Professional: *(Note: Professional Engineer or Certified Land Surveyor responsible for the design and preparation of plans and specifications for the Stormwater Management / BMP facility.)*

Firm Name: _____ AES Consulting Engineers
Mailing Address: _____ 5248 Olde Towne Road, Suite 1
_____ Williamsburg, VA 23188
Business Phone: _____ 757-253-0040
Fax: _____ 757-220-8994
Responsible Plan Preparer: _____ Jason Grimes, P.E.
Title: _____ Project Engineer
Plan Name: _____ Williamsburg Community Chapel Building Expansion
Firm's Project No. _____ 9151-02
Plan Date: _____
Sheet No.'s Applicable to SWM/BMP Facility: _____ 1 / _____ 6 / _____ 10 / _____ 12 / _____

BMP Contractor: *(Note: Site Work Contractor directly responsible for construction of the Stormwater Management / BMP facility.)*

Name: _____ CA Barrs
Mailing Address: _____ PO Box 1489
_____ Yorktown, VA 23692
Business Phone: _____ 898-7282
Fax: _____ 898-1282
Contact Person: _____ Steve Barrs
Site Foreman/Supervisor: _____
Specialty Subcontractors & Purpose (for BMP Construction Only): _____ N/A

Section 4 – Professional Certifications:

Certifying Professionals: *(Note: A Registered Professional Engineer or Certified Land Surveyor is responsible for preparation of a Record Drawing, sometimes referred to as an As-Built plan, for the drainage system for the project including any Stormwater Management/BMP Facilities. A Registered Professional Engineer is responsible for the inspection, monitoring and certification of Stormwater Management / BMP facilities during its construction.)*

Record Drawing and Construction Certifications for Stormwater Management / BMP Facilities

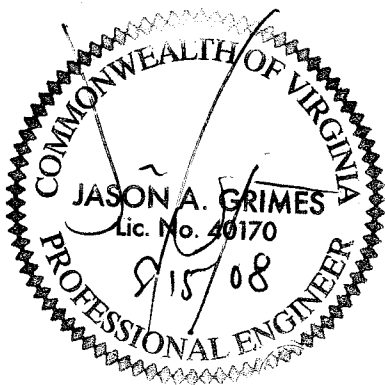
Record Drawing Certification

Firm Name: AES Consulting Engineers
Mailing Address: 5248 Olde Towne Road
Williamsburg, VA 23188
Business Phone: 757-253-0040
Fax: 757-220-8994

Name: Jason Grimes
Title: Project Manager

Signature: _____
Date: _____

I hereby certify to the best of my knowledge and belief that this record drawing represents the actual condition of the Stormwater Management / BMP facility. The facility appears to conform with the provisions of the approved design plan, specifications and stormwater management plan, except as specifically noted.



(Seal)

Virginia Registered Professional Engineer
Or Certified Land Surveyor

Construction Certification

Firm Name: _____
Mailing Address: _____
Business Phone: _____
Fax: _____

Name: _____
Title: _____

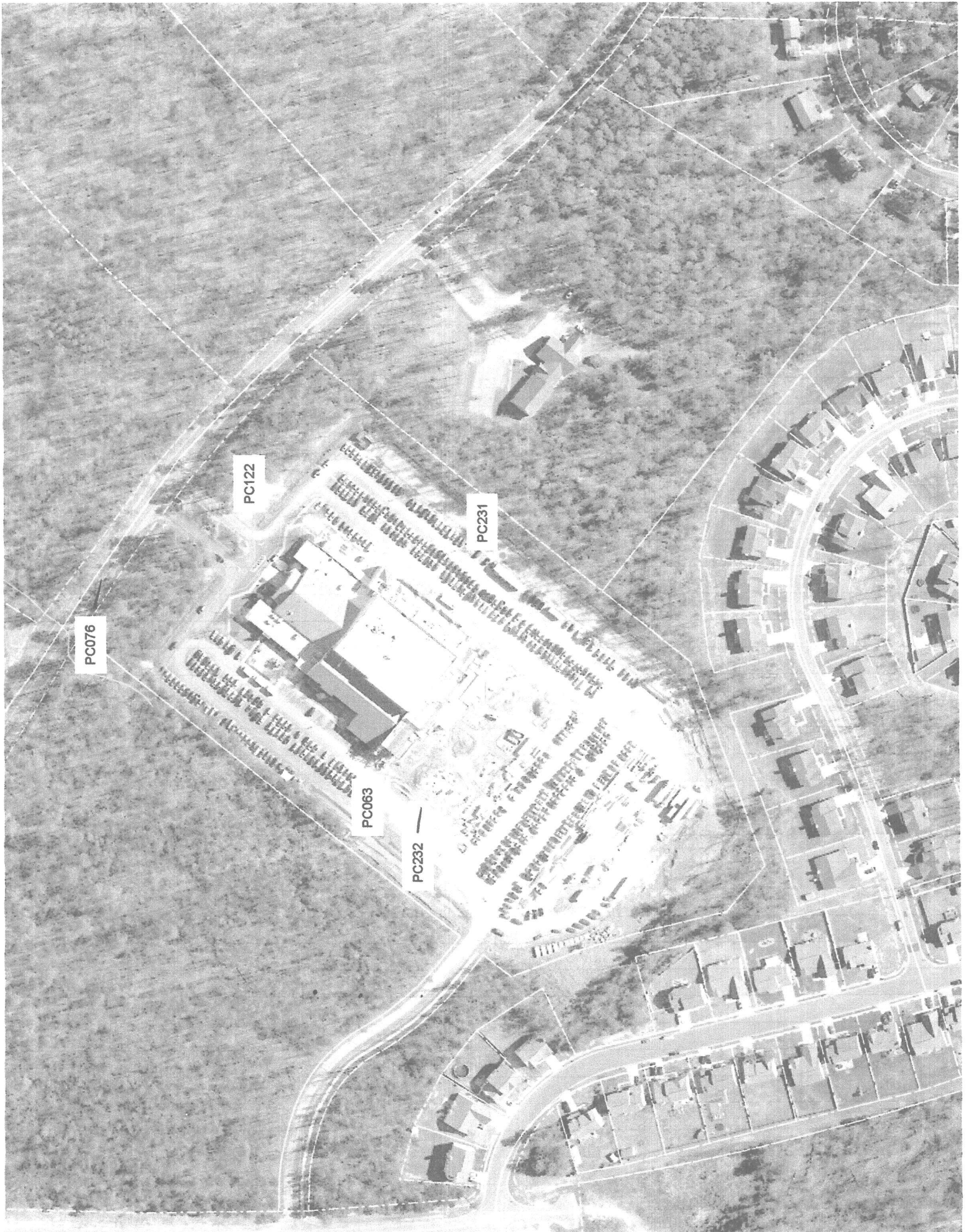
Signature: _____
Date: _____

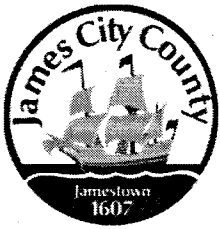
I hereby certify to the best of my knowledge and belief that this Stormwater Management / BMP facility was monitored and constructed in accordance with the provisions of the approved design plan, specifications and stormwater management plan, except as specifically noted.

- TIMBER CRIB WALL WAS
EXISTING. MODIFICATIONS TO
PIPING HAVE BEEN ANALYZED
BUT NOT CONSTRUCTION.

(Seal)

Virginia Registered
Professional Engineer





Stormwater Division

MEMORANDUM

DATE: March 4, 2010
TO: Michael J. Gillis, Virginia Correctional Enterprises Document Management Services
FROM: Jo Anna Ripley, Stormwater
PO: 270712
RE: Files Approved for Scanning

General File ID or BMP ID: PC063

PIN: 4610100002A

Subdivision, Tract, Business or Owner

Name (if known):

Williamsburg Community Chapel

Property Description:

Church site

Site Address:

3899 John Tyler Highway

(For internal use only)

Box 5

Drawer: 3

Agreements: (in file as of scan date)

N

Book or Doc#:

Page:

Comments

This is a combined file with PC076, PC231, and PC232, 063, PC122

Date Record Created:

Created By:

WS_BMPNO:

PC063

WATERSHED

PC

BMP ID NO

063

PLAN NO

SP-16-08

TAX PARCEL

PIN NO

CONSTRUCTION DATE

PROJECT NAME

Prime Outlets Phase 7 & 8 Amendment

FACILITY LOCATION

CITY-STATE

CURRENT OWNER

OWNER ADDRESS

OWNER ADDRESS 2

CITY-STATE-ZIP CODE

OWNER PHONE

0

MAINT AGREEMENT

No

EMERG ACTION PLAN

No

Get Last BMP No

Return to Menu

Print Record

PRINTED ON
Thursday, March 04, 2010
4:32:24 PM

MAINTENANCE PLAN

No

SITE AREA acre

LAND USE

old BMP TYP

JCC BMP CODE

POINT VALUE

CTRL STRUC DESC

CTRL STRUC SIZE inches

12 x 12

OTLT BARRL DESC

OTLT BARRL SIZE inch

Underground Vault

F2

Dry ED with forebay

EMERG SPILLWAY

No

DESIGN HW ELEV

PERM POOL ELEV

2-YR OUTFLOW cfs

0.00

10-YR OUTFLOW cfs

0.00

REC DRAWING

No

SERVICE AREA DESCRI

IMPERV AREA acres

0.00

CONSTR CERTIF

No

RECV STREAM

EXT DET-WQ-CTRL

No

LAST INSP DATE

Inspected by:

WTR QUAL VOL acre-ft

CHAN PROT CTRL

No

INTERNAL RATING

CHAN PROT VOL acre-ft

No

MISC/COMMENTS

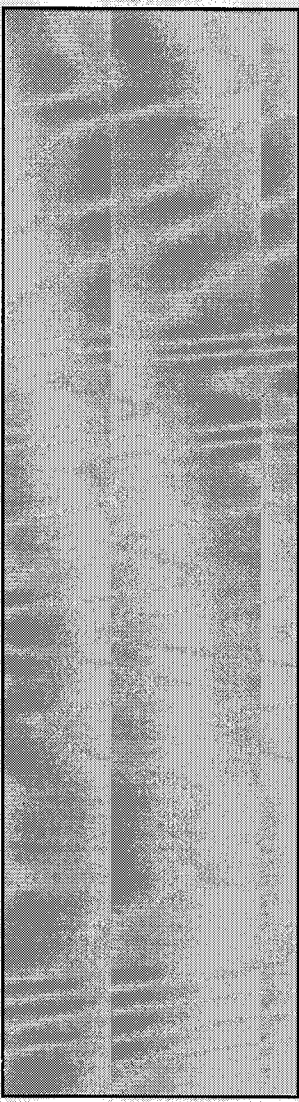
SW/FLOOD CONTROL

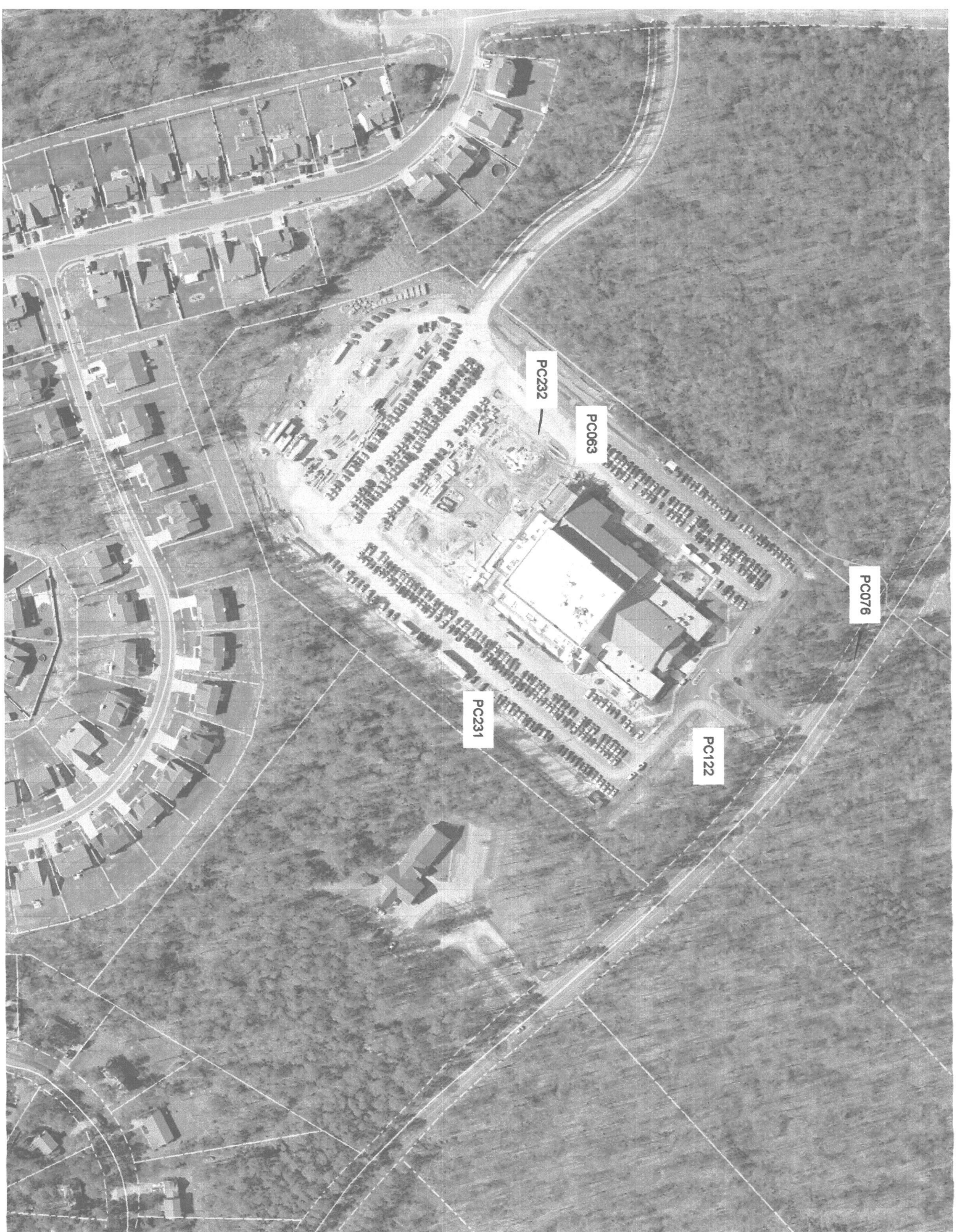
No

Rotondo Underground Concrete Box:

17,000 cf

Additional Comments:





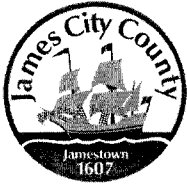
PC232

PC063

PC076

PC122

PC231



**James City County Environmental Division
Stormwater Management/BMP Record Drawing and
Construction Certification Review Tracking Form**

Project Name: Williamsburg Community Chapel Building Expansion
County Plan No.: SP-17-05
Stormwater Management Facility: Swale
BMP Phase #: ☐ I ☐ II ☒ III
☒ Information Package Received. Date/By: 8/15/08
☐ Completeness Check:
 ☒ Record Drawing Date/By: 8/15/08 Jason Grimo
 ☒ Construction Certification Date/By: 8/15/08 Jason Grimo
 ☒ RD/CC Standard Forms (Required for all BMPs after Feb 1st 2001 Only)
 ☐ Insp/Maint Agreement # / Date: _____
 ☐ BMP Maintenance Plan Location: _____
 ☐ Other: _____
☐ Standard E&SC Note on Approved Plan Requiring RD/CC or County comment in plan review
 ☐ Yes ☐ No Location: _____
☒ Assign County BMP ID Code #: Code: PC-063
☒ Preliminary Input/Log into Division's "As-Built Tracking Log"
☒ Add Location to GIS Map. Obtain basic site information (GPIN, Owner, Address, etc.)
☒ Preliminary Log into Access Database (BMP ID #, Plan No., GPIN, Project Name, etc.)
☒ Active Project File Review (correspondence, H&H, design computations, etc.)
☒ Initial As-Built File setup (File label, folder, copy plan/details/design information, etc.)
☒ Inspector Check of RD/CC (forward to Inspector using transmittal for cursory review).
☒ Pre-Inspection Drawing Review of Approved Plan (Quick look prior to Field Inspection).
☒ Final Inspection (FI) Performed Date: 12/23/08
☒ Record Drawing (RD) Review Date: 12/23/08
☒ Construction Certification (CC) Review Date: 12/23/08
☒ Actions:
 ☐ No comments.
 ☒ Comments. Letter Forwarded. Date: 9/25/08
 ☐ Record Drawing (RD)
 ☐ Construction Certification (CC)
 ☐ Construction-Related (CR)
 ☒ Site Issues (SI)
 ☐ Other: _____
☐ Second Submission: _____
☒ Reinspection (if necessary): 12/23/08
☒ Acceptable for SWM Purposes (RD/CC/CR/Other). Ok to proceed with bond release.
☒ Complete "Surety Request Form".
☒ Check/Clean active file of any remaining material and finish "As-Built" file.
☒ Add to County BMP Inventory/Inspection schedule (Phase I, II or III).
☒ Copy Final Inspection Report into County BMP Inspection Program file.
☒ Obtain Digital Photographs of BMP and save into County BMP Inventory.
☒ Request mylar/reproducible from As-Built plan preparer.
☒ Complete "As-built Tracking Log".
☒ Last check of BMP Access Database (County BMP Inventory).
 ☐ Add BMP to JCC Hydrology & Hydraulic database (optional).
 ☐ Add BMP to Municipal BMP list (if a County-owned facility)
 ☐ Add BMP to PRIDE BMP ratings database.

Final Sign-Off

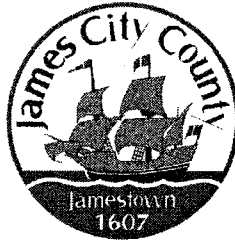
Inspector: [Signature]

Date: 1/12/08

Chief Engineer: _____

Date: _____

*** See separate checklist, if needed.



James City County, Virginia
Environmental Division

Stormwater Management / BMP Facilities
Record Drawing and Construction Certification Forms

(Note: In accordance with the requirements of the Chesapeake Bay Preservation Ordinance, Chapter 23, Section 23-10(4), BMP's shall be designed and constructed in accordance with the manual entitled James City County Guidelines for Design and Construction of Stormwater Management BMP's. Erosion and sediment control policy and approved plans generally require that at the completion of the project and prior to release of surety, an "as-built" plan prepared by a registered Professional Engineer or Certified Land Surveyor must be provided for the drainage system for the project, including any Best Management Practice (BMP) facilities. In addition, for BMP facilities involving the construction of an impounding structure or dam embankment, certification is required by a Professional Engineer who has inspected the structure during its construction. Currently there are over 20 water quality type BMP's accepted by the County.)

Section 1 – Site Information:

Project Name: Williamsburg Community Chapel Building Expansion
Structure/BMP Name: West Side Dry Pond
Project Location: John Tyler Highway (Route 5)
BMP Location: Northwest side of parking lot
County Plan No.: SP - 17 - 05

Project Type: ☐ Residential ☐ Business Tax Map/Parcel No.: (46-1)(1-2A)
☐ Commercial ☐ Office BMP ID Code (if known): n/a
☒ Institutional ☐ Industrial Zoning District: R-8
☐ Public ☐ Roadway Land Use:
☐ Other Site Area (sf or acres): 15.06 AC.+

Brief Description of Stormwater Management/BMP Facility: West Side Wet Swale (located along the western side of the site between the Chapel building and Jamestown High School)

Nearest Visible Landmark to SWM/BMP Facility: _____

Nearest Vertical Ground Control (if known):
☒ JCC Geodetic Ground Control ☐ USGS ☐ Temporary ☐ Arbitrary ☐ Other
Station Number or Name: Monument 320
Datum or Reference Elevation: 30.18ft
Control Description: _____

Control Location from Subject Facility: Located at the entrance of St George's Hundred subdivision on John Tyler Hwy

Section 2 – Stormwater Management / BMP Facility Construction Information:

PreConstruction Meeting Held for Construction of SWM/BMP Facility: ☒ Yes ☐ No ☐ Unknown
Approx. Construction Start Date for SWM/BMP Facility: _____ Unknown
Facility Monitored by County Representative during Construction: ☒ Yes ☐ No ☐ Unknown
Name of Site Work Contractor Who Constructed Facility: _____ CA Barrs
Name of Professional Firm Who Routinely Monitored Construction: _____ AES
Date of Completion for SWM/BMP Facility: _____ Unknown
Date of Record Drawing/Construction Certification Submittal: _____ 6/26/08

(Note: Record Drawing and Construction Certifications are required within thirty (30) days of the completion of Stormwater Management and/or BMP facility construction. Record Drawings and Construction Certifications must be reviewed and approved by the James City County Environmental Division prior to final inspection, acceptance and bond or surety release.)

Section 3 – Owner / Designer / Contractor Information:

Owner/Developer: *(Note: Site Owner or Applicant responsible for development of the project.)*

Name: _____ Williamsburg Community Chapel
Mailing Address: _____ 3899 John Tyler Highway
_____ Williamsburg, VA 23188
Business Phone: _____ 229-7152 Fax: _____ 229-4310
Contact Person: _____ Kevin Wilkins/ Rob Campbell Title: _____

Design Professional: *(Note: Professional Engineer or Certified Land Surveyor responsible for the design and preparation of plans and specifications for the Stormwater Management / BMP facility.)*

Firm Name: _____ AES Consulting Engineers
Mailing Address: _____ 5248 Olde Towne Road, Suite 1
_____ Williamsburg, VA 23188
Business Phone: _____ 757-253-0040
Fax: _____ 757-220-8994
Responsible Plan Preparer: _____ Jason Grimes, P.E.
Title: _____ Project Engineer
Plan Name: _____ Williamsburg Community Chapel Building Expansion
Firm's Project No. _____ 9151-02
Plan Date: _____
Sheet No.'s Applicable to SWM/BMP Facility: _____ 1 / _____ 6 / _____ 10 / _____ 12 / _____

BMP Contractor: *(Note: Site Work Contractor directly responsible for construction of the Stormwater Management / BMP facility.)*

Name: _____ CA Barrs
Mailing Address: _____ PO Box 1489
_____ Yorktown, VA 23692
Business Phone: _____ 898-7282
Fax: _____ 898-1282
Contact Person: _____ Steve Barrs
Site Foreman/Supervisor: _____
Specialty Subcontractors & Purpose (for BMP Construction Only): _____ N/A

Section 4 – Professional Certifications:

Certifying Professionals: *(Note: A Registered Professional Engineer or Certified Land Surveyor is responsible for preparation of a Record Drawing, sometimes referred to as an As-Built plan, for the drainage system for the project including any Stormwater Management/BMP Facilities. A Registered Professional Engineer is responsible for the inspection, monitoring and certification of Stormwater Management / BMP facilities during its construction.)*

Record Drawing and Construction Certifications for Stormwater Management / BMP Facilities

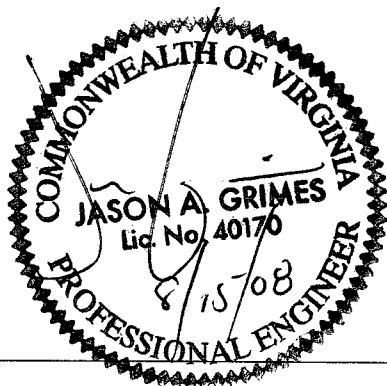
Record Drawing Certification

Firm Name: AES Consulting Engineers
Mailing Address: 5248 Olde Towne Road
Williamsburg, VA 23188
Business Phone: 757-253-0040
Fax: 757-220-8994

Name: Jason Grimes
Title: Project Manager

Signature: _____
Date: _____

I hereby certify to the best of my knowledge and belief that this record drawing represents the actual condition of the Stormwater Management / BMP facility. The facility appears to conform with the provisions of the approved design plan, specifications and stormwater management plan, except as specifically noted.



(Seal)

Virginia Registered Professional Engineer
Or Certified Land Surveyor

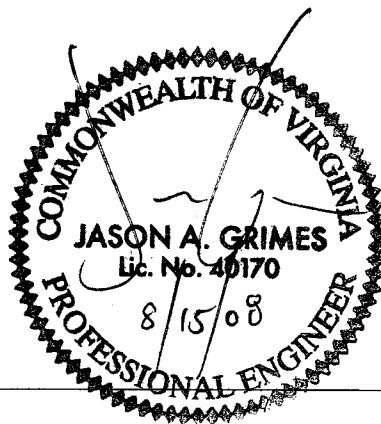
Construction Certification

Firm Name: AES Consulting Engineers
Mailing Address: 5248 Olde Towne Road
Williamsburg, VA 23188
Business Phone: 757-253-0040
Fax: 757-220-8994

Name: Jason Grimes
Title: Project Manager

Signature: _____
Date: _____

I hereby certify to the best of my knowledge and belief that this Stormwater Management / BMP facility was monitored and constructed in accordance with the provisions of the approved design plan, specifications and stormwater management plan, except as specifically noted.



(Seal)

Virginia Registered
Professional Engineer

BMP RECORD DRAWING

FOR

WILLIAMSBURG COMMUNITY CHAPEL

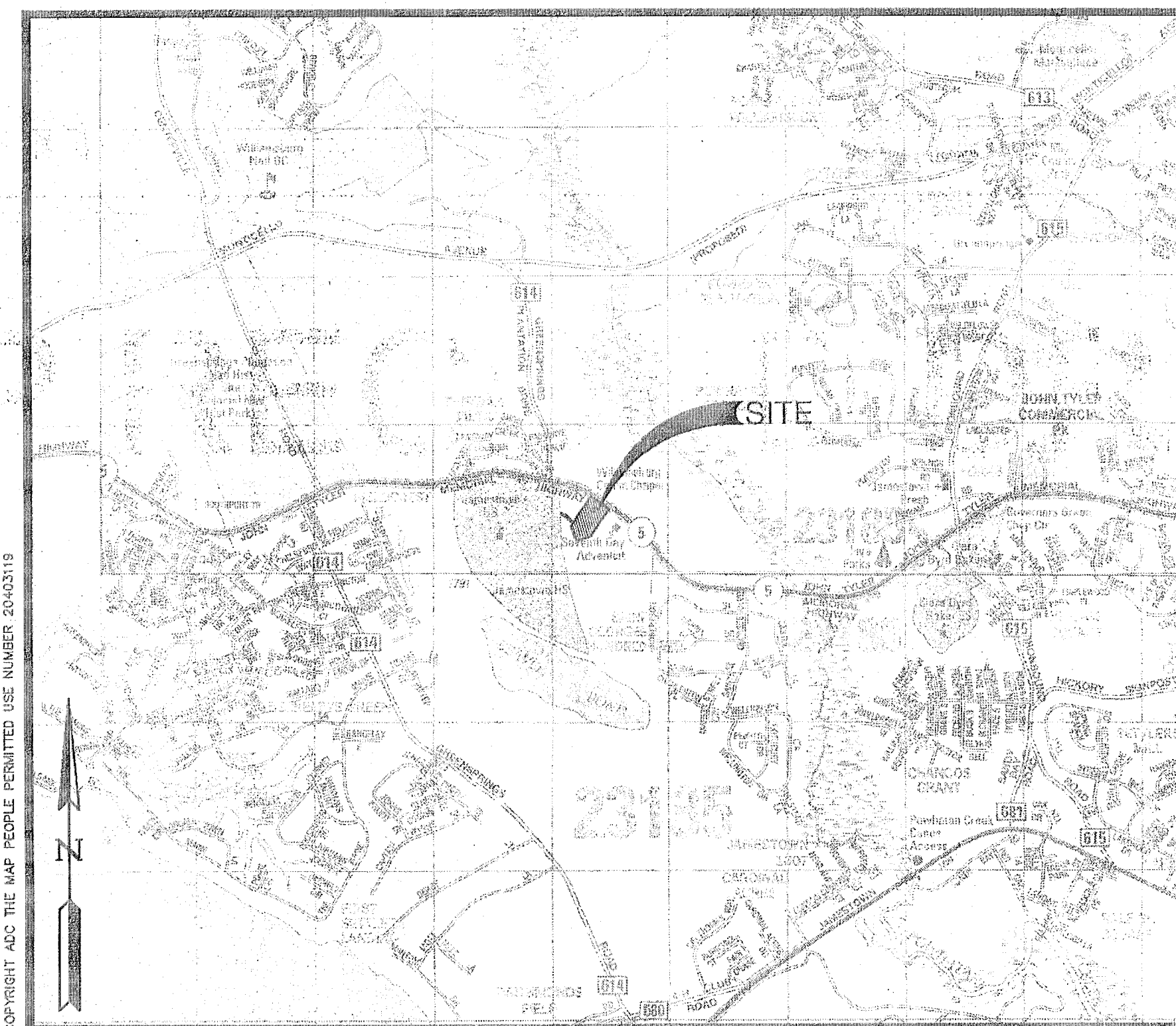
JAMES CITY COUNTY, VIRGINIA

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
WATER	W	② DITCH/SWALE	
SANITARY SEWER	S	CONCRETE LINED DITCH	
STORM SEWER		EC-3 LINED DITCH	
FORCE MAIN	F.M.	EXISTING TREELINE	
MANHOLE		LIMITS OF CLEARING	
CURB DROP INLET		SILT FENCE	
YARD DROP INLET		INLET PROTECTION	
FLARED END SECTION		CHECK DAM	
VALVE		STRAW BALE BARRIER	
FIRE HYDRANT ASSEMBLY		RIP RAP	
BLOW-OFF VALVE		REVERSE ROLL TOP GUTTER	
AIR RELEASE ASSEMBLY		GROUND ELEVATION	
CLEAN OUT		PROPOSED TOP OF CURB ELEV.	
WATER METER		EXISTING CONTOUR ELEV.	
STREETLIGHT		PROPOSED CONTOUR ELEV.	
CENTERLINE/BASELINE			

GENERAL NOTES:

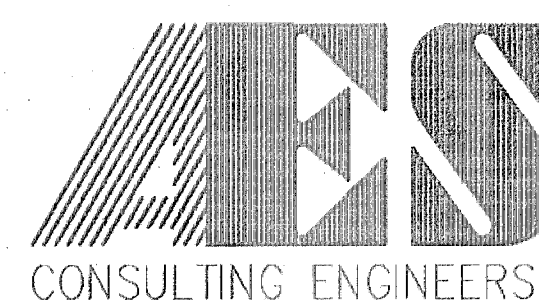
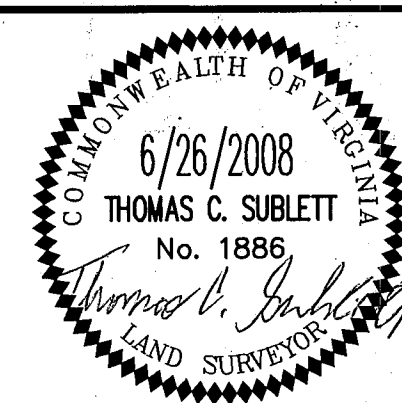
- ALL PROPOSED UTILITIES SHOWN ARE TO BE PLACED UNDERGROUND AS PER THE CURRENT JAMES CITY COUNTY ORDINANCES.
- THE CONTRACTOR SHALL CONTACT "MSS UTILITY" A MINIMUM OF 48 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON THE SITE. CALL 1-800-552-7001.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF CONSTRUCTION EFFORTS WITH THE DOMINION VIRGINIA POWER COMPANY, VERIZON TELEPHONE, APPROPRIATE CABLE COMPANY AND OTHERS.
- ALL SIGNS SHALL BE IN ACCORDANCE WITH ARTICLE II, DIVISION 3 OF THE JAMES CITY COUNTY ZONING ORDINANCE.
- STORM SEWER PIPE SHALL BE HDPE TYPE S, UNLESS OTHERWISE DESIGNATED.
- STORM STRUCTURES SHALL CONFORM TO THE VDOT ROAD AND BRIDGE STANDARDS AND VDOT SPECIFICATIONS. ALL MANHOLES SHALL INCLUDE INLET SHAPING (IS-1) AND MANHOLES DEEPER THAN 4 FEET SHALL HAVE STEPS (ST-1). PIPE BEDDING SHALL BE IN ACCORDANCE WITH VDOT PB-1 AND MANUF. SPECS/GUIDELINES.
- THE CONTRACTOR SHALL SATISFY HIMSELF AS TO ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF WORK TO INCLUDE, BUT NOT LIMITED TO, JAMES CITY COUNTY LAND DISTURBANCE AND VDOT CE-7.
- A PRECONSTRUCTION CONFERENCE SHALL BE HELD ON-SITE BETWEEN THE COUNTY, THE PROJECT ENGINEERS AND THE CONTRACTOR PRIOR TO ISSUANCE OF A LAND DISTURBING PERMIT.
- ALL WATER AND SANITARY SEWER FACILITIES MUST HAVE A 5 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN IT AND ALL OTHER FIXED STRUCTURES, SUCH AS: DROP INLETS, FIRE HYDRANTS, LIGHT POLES, WATERLINE FACILITIES (SHALL BE A MINIMUM OF 10 FEET PER STATE HEALTH DEPARTMENT REGULATIONS).
- ALL COMPONENTS OF THE WATER DISTRIBUTION AND SANITARY SEWER SYSTEM SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH THE LATEST EDITION OF THE JAMES CITY SERVICE AUTHORITY STANDARDS AND SPECIFICATIONS FOR WATER DISTRIBUTION AND SANITARY SEWER SYSTEMS, THE HAMPTON ROADS PLANNING DISTRICT COMMISSION (HRPDC) REGIONAL STANDARDS, AND THE COMMONWEALTH OF VIRGINIA WATERWORKS AND SEWERAGE REGULATIONS. THE CONTRACTOR SHALL USE ONLY NEW MATERIALS, PARTS AND PRODUCTS ON ALL PROJECTS. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE WORK. A COPY OF THE JCSA STANDARDS AND THE HRPDC REGIONAL STANDARDS MUST BE KEPT ON-SITE BY THE CONTRACTOR DURING THE FULL TIME OF INSTALLING, TESTING, AND CONVEYING THE FACILITIES TO JCSA.
- UNLESS OTHERWISE NOTED ALL GRAVITY SEWER (G.S.) IS TO BE P.V.C. PIPE.
- ANY EXISTING UNUSED WELLS SHALL BE ABANDONED IN ACCORDANCE WITH STATE PRIVATE WELL REGULATIONS AND JAMES CITY COUNTY CODE.
- JCSA SHALL BE GRANTED ACCESS EASEMENTS TO WATER AND SEWER LOCATED THROUGH THE PRIVATE DEVELOPMENT ROADWAYS.
- VDOT DOES NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF THE SIDEWALK AND SHALL BE SAVED HARMLESS FROM ANY DAMAGES.
- VDOT WILL HAVE NO MAINTENANCE RESPONSIBILITY FOR ANY DRAINAGE STRUCTURES, DETENTION PONDS AND STORM PIPING LOCATED OUTSIDE THE VDOT RIGHT-OF-WAY AND SHALL BE SAVED HARMLESS FROM ANY DAMAGE OR FAILURE OF THE STRUCTURES, PONDS, OR PIPING.
- NO IRRIGATION WELL(S) SHALL BE ESTABLISHED OR UTILIZED FOR ANY RESIDENTIAL UNIT PER THE PROFFERS FOR THIS DEVELOPMENT.
- WITHIN COMMON OPEN SPACE AREAS, ONLY THOSE AREAS NOTED AS NATURAL UNDISTURBED OPEN SPACE WILL QUALIFY AS BMP OPEN SPACE CREDIT.
- UNLESS OTHERWISE NOTED, ALL DRAINAGE EASEMENTS SHALL REMAIN PRIVATE.
- WETLANDS AND LAND WITHIN RESOURCE PROTECTION AREAS (RPA) SHALL REMAIN IN A NATURAL UNDISTURBED STATE EXCEPT FOR THOSE ACTIVITIES PERMITTED BY SECTION 23-7(c) OF THE JAMES CITY COUNTY CODE.
- NATURAL OPEN SPACE EASEMENTS SHALL REMAIN IN A NATURAL UNDISTURBED STATE EXCEPT FOR THOSE ACTIVITIES REFERENCED ON THE DEED OF EASEMENTS.
- ONLY JCSA PERSONNEL ARE AUTHORIZED TO OPERATE VALVES ON THE EXISTING JCSA WATER MAINS.
- SOLID WASTE SHALL BE COLLECTED AND PROPERLY DISPOSED OF BY PRIVATE HAULER.
- ANY EXISTING SEPTIC SYSTEMS THAT MAY BE LOCATED ON SITE MUST BE ABANDONED IN ACCORDANCE WITH STATE HEALTH DEPARTMENT REGULATIONS. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS CAN BE ACQUIRED FROM THE VIRGINIA DEPARTMENT OF HEALTH, WILLIAMSBURG OFFICE. TELEPHONE NUMBER: 757-253-4813.
- VDOT DOES NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF THE BMP OR ITS STRUCTURES, AND SHALL BE SAVED HARMLESS FROM ANY DAMAGE.
- THE OWNER SHALL IMPLEMENT AN ANNUAL PERFORMANCE EVALUATION/INSPECTION OF THE BACKFLOW PREVENTION DEVICE AND COORDINATE WITH JOHN WILSON, JCSA UTILITY SPECIAL COORDINATOR, AT (757)259-4138. THE BACKFLOW PREVENTER SHALL BE TESTED, MAINTAINED AND OPERATED IN ACCORDANCE WITH JCSA STANDARDS.
- THE PLUMBING INSIDE THE BUILDING MUST BE INSPECTED BY MR. JOHN WILSON, JCSA UTILITY PROJECTS SPECIAL COORDINATOR (757)259-4138, FOR POTENTIAL CROSS CONNECTIONS. ANY CROSS CONNECTIONS MUST BE PROTECTED BY APPROPRIATE BACKFLOW PREVENTION DEVICE.
- PRIOR TO JCSA ACCEPTANCE OF THE WATER SYSTEM, ALL PERTINENT INFORMATION FOR THE FIRE METER VAULT WITH DETECTOR CHECK AND TOUCH PAD ON THE FIRE MAIN SHALL BE PROVIDED TO JCSA CUSTOMER SERVICES (253-6800) AND THE TOUCH PADS ARE VERIFIED FOR COMPATIBILITY WITH JCSA OPERATIONS AMR READERS (259-6094).



VICINITY MAP (APPROX. SCALE 1"=2000')

FEBRUARY 23, 2005
AES PROJECT NO.: 9151-02
SP-17-05

"THE BMP AND DRAINAGE STRUCTURE LOCATIONS AND GRADES SHOWN ON THESE DRAWINGS, ARE ACCURATE AND COMPLETE TO THE BEST OF MY KNOWLEDGE AND BELIEF AND I CERTIFY THAT I, OR MY AGENT, HAVE MADE SUFFICIENT INSPECTION TO ENSURE THE ACCURACY OF THIS STATEMENT."



5248 Olde Towne Road, Suite 1
Williamsburg, Virginia 23188
(757) 253-0040
Fax (757) 220-8994

INDEX OF SHEETS

SHEET NUMBER	DESCRIPTION
1	COVER SHEET
2	ENVIRONMENTAL INVENTORY
3	DEMOLITION PLAN
4	EROSION & SEDIMENT CONTROL PLAN
5	SITE LAYOUT AND UTILITY PLAN
6A	WATERLINE PLAN & PROFILE
6	GRADING AND DRAINAGE PLAN
7	LANDSCAPE PLAN
8	LIGHTING PLAN
9	LANDSCAPE AND LIGHTING NOTES AND DETAILS
10	NOTES AND DETAILS
11	NOTES AND DETAILS
12	STORMWATER NOTES AND DETAILS

SITE DATA:

ZONING: R-8
AREA OF SITE: 15.06 ACRES
IMPERVIOUS AREA: 8.74 ACRES (2.75 AC OF ADDITIONAL IMPERVIOUS COVER)
DISTURBED AREA: 9.95 ACRES
BUILDING AREA: 38,490 SQ.FT. (FUTURE EXPANSION NOT INCLUDED IN THIS PLAN)
SEATING CAPACITY: 2454 SEATS (2 SANCTUARIES; 1654 SEATS- NEW, 800 EXISTING)
FLOOD HAZARD MAP: FEMA PANEL NUMBER 510201 0045 B - ZONE X
AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN.
WATERSHED INFORMATION: THIS SITE IS SITUATED WITHIN THE TIDAL AND NON-TIDAL MAINSTEM OF THE POWHATAN CREEK WATERSHED
MAX. BUILDING HEIGHT: 53 FEET (AS ADOPTED PER SUP-27-04)
NUMBER OF PARKING SPACES: EXISTING PARKING TO REMAIN:
215 + 10 HANDICAP SPACES
228 TOTAL SPACES
PROPOSED PARKING:
461 + 10 HANDICAP SPACES
471 TOTAL SPACES
TOTAL PARKING PROVIDED:
699 TOTAL SPACES (20 HANDICAP)
TOTAL PARKING REQUIRED:
491-TOTAL SPACES (10 HANDICAP)

SETBACKS:

FRONT: 53' (INCREASE OF 18' BASED ON BUILDING HEIGHT)
SIDE: 33' (INCREASE OF 18' BASED ON BUILDING HEIGHT)
BACK: 53' (INCREASE OF 18' BASED ON BUILDING HEIGHT)

NOTE:

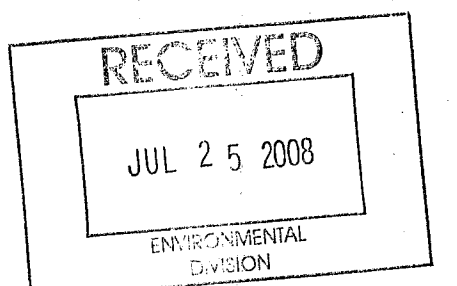
SUP-27-04 FOR THE BUILDING EXPANSION WAS APPROVED BY THE JAMES CITY COUNTY BOARD OF SUPERVISORS ON FEBRUARY 22, 2005.

OWNER INFORMATION

WILLIAMSBURG COMMUNITY CHAPEL
3899 JOHN TYLER HIGHWAY
WILLIAMSBURG, VIRGINIA 23185
CONTACT: ROB CAMPBELL, ADMINISTRATOR
PHONE: (757) 229-7152

RESPONSIBLE LAND DISTURBER:

"THE PROFESSIONAL WHOSE SEAL IS AFFIXED HEREON SHALL ACT AS THE "RESPONSIBLE LAND DISTURBER" FOR PURPOSES OF PLAN APPROVAL ONLY. PRIOR TO ISSUANCE OF THE LAND DISTURBING PERMIT, THE OWNER OR DEVELOPER SHALL PROVIDE THE NAME OF A "RESPONSIBLE LAND DISTURBER" WHO SHALL ASSUME RESPONSIBILITY AS THE "RESPONSIBLE LAND DISTURBER" FOR THE CONSTRUCTION PHASE OF THE PROJECT. THE OWNER OR DEVELOPER SHALL PROVIDE WRITTEN NOTIFICATION SHOULD THE "RESPONSIBLE LAND DISTURBER" CHANGE DURING CONSTRUCTION."



WHY NO SSC?
SP-17-05?

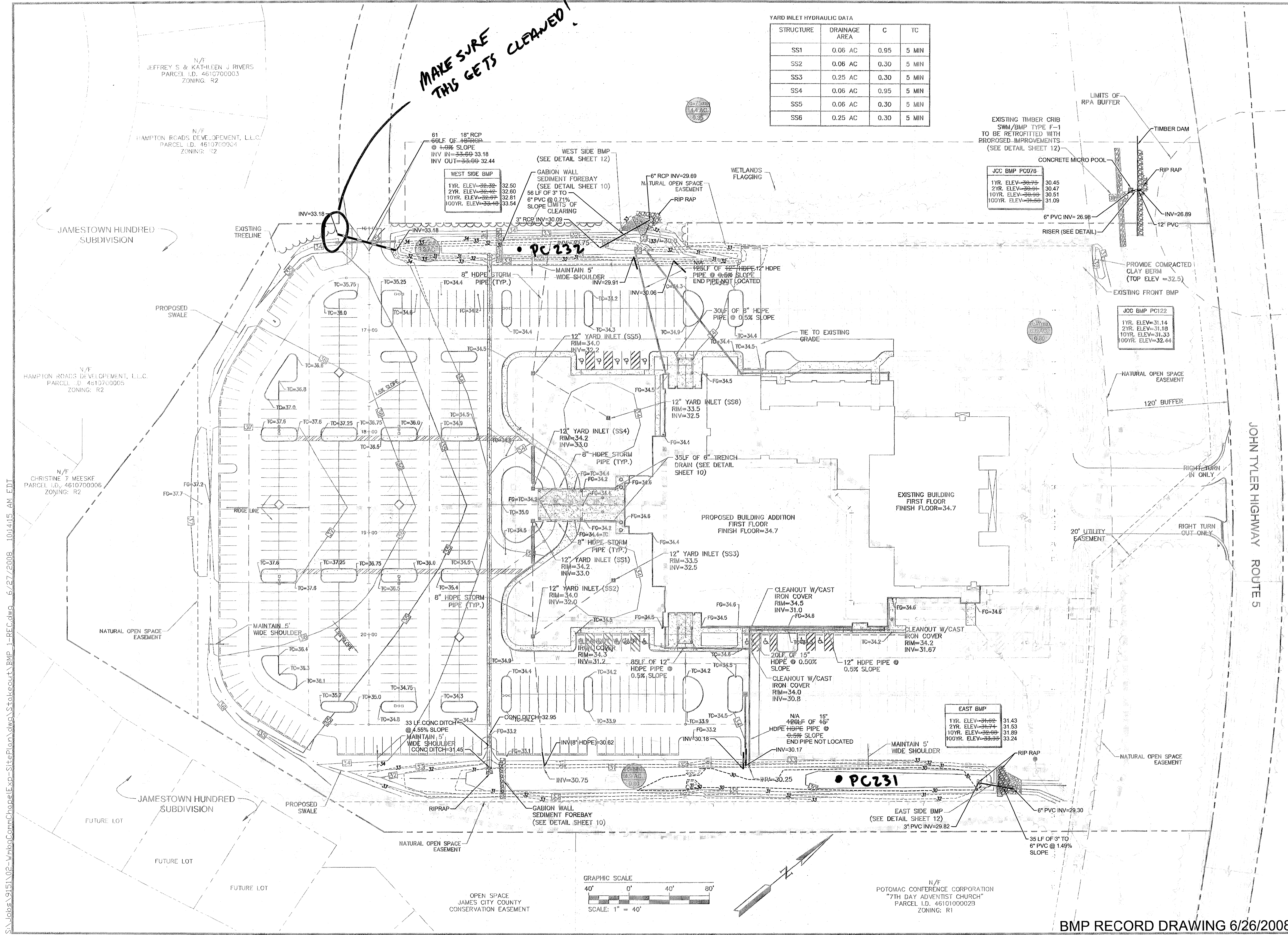
BMP RECORD DRAWING 6/26/2008

9151-SHEET NO 1

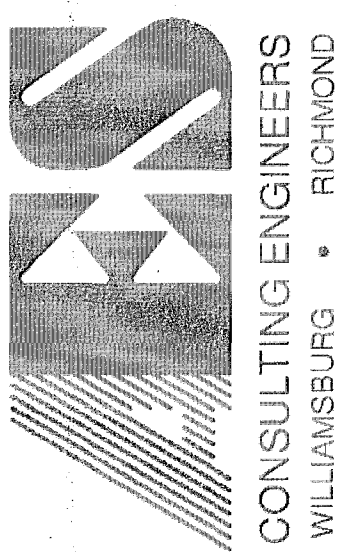
MAKE SURE
THIS GETS CLEANED!

STRUCTURE	DRAINAGE AREA	C	TC
SS1	0.06 AC	0.95	5 MIN
SS2	0.06 AC	0.30	5 MIN
SS3	0.25 AC	0.30	5 MIN
SS4	0.06 AC	0.95	5 MIN
SS5	0.06 AC	0.30	5 MIN
SS6	0.25 AC	0.30	5 MIN

DESIGNED	JAG	DATE	5/10/07
DRAWN	JAG	DATE	5/10/07
CHECKED	JAG	DATE	5/10/07
REVIEWED	JAG	DATE	5/10/07
APPROVED	JAG	DATE	5/10/07
REVISION	NO.	DATE	COMMENT
1	1	5/29/07	REVISED FOR PARKING MODIFICATION AND PDC REVISION / COMMENT / NOTE



5248 Old Towne Road, Suite 1
Williamsburg, Virginia 23188
(757) 263-0040
Fax (757) 220-9994



GRADING & DRAINAGE
PARKING LOT & FIRE LINE AMENDMENT
WILLIAMSBURG COMMUNITY
CHAPEL BUILDING EXPANSION
BERKELEY DISTRICT JAMES CITY COUNTY VIRGINIA

Designed	JAG	Drawn	JAG
Scale	1"=40'	Date	5/10/07
Project No.	9151-02		
Drawing No.	6 AS-BUILT		

BMP RECORD DRAWING 6/26/2008

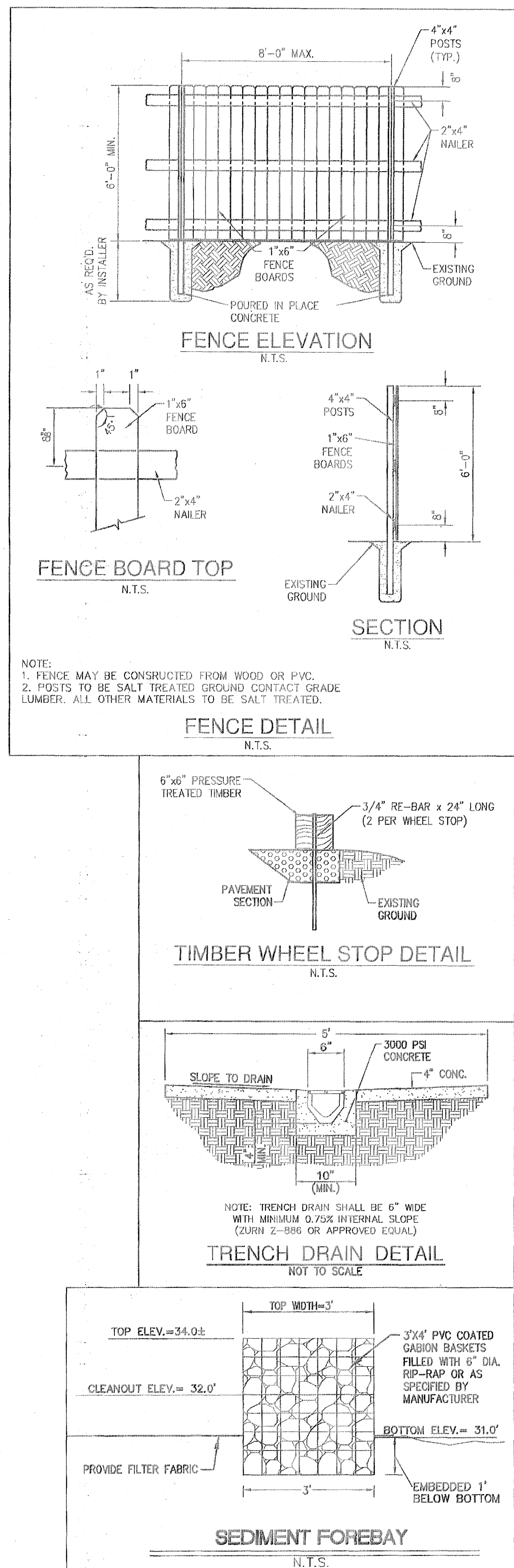
JAMES CITY COUNTY ENVIRONMENTAL DIVISION
EROSION AND SEDIMENT CONTROL NOTES
REVISED 7/6/01

THE PURPOSE OF THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS SHALL BE TO PRECLUDE THE TRANSPORT OF ALL WATERBORNE SEDIMENTS RESULTING FROM CONSTRUCTION ACTIVITIES FROM ENTERING ONTO ADJACENT PROPERTIES OR STATE WATERS. IF FIELD INSPECTION REVEALS THE INADEQUACY OF THE PLAN TO CONTROL SEDIMENT TO THE PROJECT SITE, ALL APPROPRIATE MODIFICATIONS WILL BE MADE TO CORRECT ANY PLAN DEFICIENCIES. IN ADDITION TO THESE NOTES, ALL PROVISIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS SHALL APPLY TO THIS PROJECT.

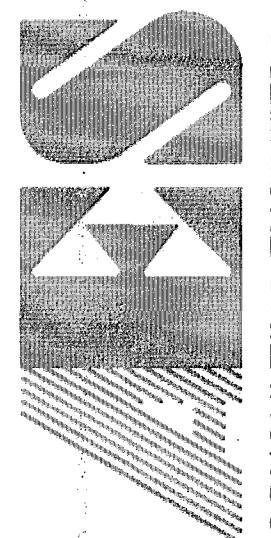
1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, 3RD EDITION, 1992. THE CONTRACTOR SHALL BE THOROUGHLY FAMILIAR WITH ALL APPLICABLE MEASURES CONTAINED THEREIN THAT MAY BE PERTINENT TO THIS PROJECT, INCLUDING MINIMUM STANDARDS 1 THROUGH 19. IF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS FOUND TO BE INADEQUATE IN THE FIELD, THE MINIMUM STANDARDS WILL APPLY IN ADDITION TO THE PROVISIONS OF THE APPROVED PLAN.
2. AS A PREREQUISITE TO APPROVAL OF AN EROSION AND SEDIMENT CONTROL PLAN FOR LAND-DISTURBING ACTIVITIES, THE NAME OF A RESPONSIBLE LAND-DISTURBER SHALL BE PROVIDED. THE RESPONSIBLE LAND-DISTURBER SHALL BE AN INDIVIDUAL WHO HOLDS A VALID CERTIFICATE OF COMPETENCE ISSUED BY THE VIRGINIA DEPARTMENT OF CONSERVATION AND IS DEFINED AS THE PERSON IN CHARGE OF AND RESPONSIBLE FOR CARRYING OUT THE LAND-DISTURBING ACTIVITY. PERMITS OR PLANS WITHOUT THIS INFORMATION ARE DENIED. NOTIFICATION AND WILL NOT BE APPROVED UNTIL PROPER NOTIFICATION IS RECEIVED. ALSO, IF THE PERSON DESIGNATED AS RESPONSIBLE LAND-DISTURBER CHANGES BETWEEN THE TIME OF PLAN APPROVAL AND THE SCHEDULED PRECONSTRUCTION MEETING, THE ENVIRONMENTAL DIVISION SHALL BE INFORMED OF THE CHANGE, IN WRITING, 24 HOURS IN ADVANCE OF THE PRECONSTRUCTION MEETING.
3. A PRECONSTRUCTION MEETING SHALL BE HELD ON SITE BETWEEN THE COUNTY, THE DEVELOPER, THE PROJECT ENGINEER, THE RESPONSIBLE LAND-DISTURBER AND THE CONTRACTOR PRIOR TO ISSUANCE OF THE LAND DISTURBING PERMIT. THE CONTRACTOR SHALL SUBMIT A SEQUENCE OF CONSTRUCTION TO THE COUNTY FOR APPROVAL PRIOR TO THE PRECONSTRUCTION MEETING. THE DESIGNATED RESPONSIBLE LAND-DISTURBER IS REQUIRED TO ATTEND THE PRECONSTRUCTION MEETING FOR THE PROJECT.
4. ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED BY A TEMPORARY CONSTRUCTION ENTRANCE TO PREVENT TRACKING OF MUD ONTO PUBLIC RIGHT-OF-WAYS. AN ENTRANCE PERMIT FROM VDOT IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN STATE RIGHT-OF-WAYS. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE, THE ROAD SHALL BE THOROUGHLY CLEANED AT THE END OF EACH DAY (STD & SPEC 3.02).
5. SEDIMENT BASINS AND TRAPS (STD & SPEC 3.13 AND 3.14), PERIMETER DIKES (STD & SPEC 3.09 AND 3.12), SEDIMENT FILTER BARRIERS (STD. & SPEC 3.05) AND OTHER MEASURES INTENDED TO TRAP SEDIMENT ON-SITE MUST BE CONSTRUCTED AS A FIRST STEP IN GRADING AND MUST BE MADE FUNCTIONAL PRIOR TO ANY UP-SLOPE LAND DISTURBANCE TAKING PLACE. EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER INSTALLATION. PERIODIC INSPECTIONS OF THE EROSION CONTROL MEASURES BY THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE MADE TO ASSESS THEIR CONDITION. ANY NECESSARY MAINTENANCE OF THE MEASURES SHALL BE ACCOMPLISHED IMMEDIATELY AND SHALL INCLUDE THE REPAIR OF MEASURES DAMAGED BY ANY SUBCONTRACTOR INCLUDING THOSE OF THE PUBLIC UTILITY COMPANIES.
6. SURFACE FLOWS OVER CUT AND FILL SLOPES SHALL BE CONTROLLED BY EITHER REDIRECTING FLOWS FROM TRANSVERSING THE SLOPES OR BY INSTALLING MECHANICAL DEVICES TO SAFELY LOWER WATER DOWNSLOPE WITHOUT CAUSING EROSION. A TEMPORARY FILL DIVERSION (STD. & SPEC. 3.10) AND SLOPE DRAIN (STD. & SPEC. 3.15) SHALL BE INSTALLED PRIOR TO THE END OF EACH WORKING DAY.
7. SEDIMENT CONTROL MEASURES MAY REQUIRE MINOR FIELD ADJUSTMENTS AT TIME OF CONSTRUCTION TO INSURE THEIR INTENDED PURPOSE IS ACCOMPLISHED. ENVIRONMENTAL DIVISION APPROVAL WILL BE REQUIRED FOR OTHER DEVIATIONS FROM THE APPROVED PLAN.
8. THE CONTRACTOR SHALL PLACE SOIL STOCKPILES AT THE LOCATIONS SHOWN ON THE PLAN. SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. OFF-SITE WASTE OR BORROW AREAS SHALL BE APPROVED BY THE ENVIRONMENTAL DIVISION PRIOR TO THE IMPORT OF ANY BORROW OR EXPORT OF ANY WASTE TO OR FROM THE PROJECT SITE.
9. THE CONTRACTOR SHALL COMPLETE DRAINAGE FACILITIES WITHIN 30 DAYS FOLLOWING COMPLETION OF ROUGH GRADING AT ANY POINT WITHIN THE PROJECT. THE INSTALLATION OF DRAINAGE FACILITIES SHALL TAKE PRECEDENCE OVER ALL UNDERGROUND UTILITIES. OUTFALL DITCHES FROM DRAINAGE STRUCTURES SHALL BE STABILIZED IMMEDIATELY AFTER CONSTRUCTION OF THE SAME (STD & SPEC 3.18). THIS INCLUDES INSTALLATION OF EROSION CONTROL STONE OR PAVED DITCHES WHERE REQUIRED. ANY DRAINAGE OUTFALLS REQUIRED FOR A STREET MUST BE COMPLETED BEFORE STREET GRADING OR UTILITY INSTALLATION BEGINS.
10. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.
11. NO MORE THAN 300 FEET OF SANITARY SEWER, STORM DRAIN, WATER OR UNDERGROUND UTILITY LINES ARE TO BE OPEN AT ONE TIME. FOLLOWING INSTALLATION OF ANY PORTION OF THESE ITEMS, ALL DISTURBED AREAS ARE TO BE IMMEDIATELY STABILIZED (I.E., THE SAME DAY).
12. IF DISTURBED AREA STABILIZATION IS TO BE ACCOMPLISHED DURING THE MONTHS OF DECEMBER, JANUARY OR FEBRUARY, STABILIZATION SHALL CONSIST OF MULCHING (STD & SPEC 3.35). SEEDING WILL THEN TAKE PLACE AS SOON AS THE SEASON PERMITS.
13. THE TERM SEEDING, FINAL VEGETATIVE COVER OR STABILIZATION ON THIS PLAN SHALL MEAN THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF A STABLE GRASS COVER FROM A PROPERLY PREPARED SEEDBED CONTAINING THE SPECIFIED AMOUNTS OF SEED, LIME AND FERTILIZER (STD & SPEC 3.32). IRRIGATION SHALL BE REQUIRED AS NECESSARY TO ENSURE ESTABLISHMENT OF GRASS COVER.
14. ALL SLOPES STEEPER THAN 3H:1V SHALL REQUIRE THE USE OF EROSION CONTROL BLANKETS AND MATINGS TO AID IN THE ESTABLISHMENT OF A VEGETATIVE COVER. INSTALLATION SHALL BE IN ACCORDANCE WITH STD. & SPEC. 3.33. MULCHING, STD. & SPEC. 3.35, SOIL STABILIZATION BLANKETS AND MATINGS AND MANUFACTURER'S INSTRUCTIONS. NO SLOPES SHALL BE CREATED STEEPER THAN 2H:1V.
15. INLET PROTECTION (STD & SPEC 3.07 AND 3.08) SHALL BE PROVIDED FOR ALL STORM DRAIN AND CULVERT INLETS FOLLOWING CONSTRUCTION OF THE SAME.
16. TEMPORARY LINERS, SUCH AS POLYETHYLENE SHEETS, SHALL BE PROVIDED FOR ALL PAVED DITCHES UNTIL THE PERMANENT CONCRETE LINER IS INSTALLED.
17. PAVED DITCHES SHALL BE REQUIRED WHEREVER ACCELERATED EROSION IS EVIDENT. PARTICULAR ATTENTION SHALL BE PAID TO THOSE AREAS WHERE GRASSES EXCEED 3 PERCENT.
18. TEMPORARY EROSION CONTROL MEASURES SUCH AS SILT FENCE ARE NOT TO BE REMOVED UNTIL ALL DISTURBED AREAS ARE STABILIZED. TRAPPED SEDIMENT SHALL BE SPREAD, SEEDED AND MULCHED. AFTER THE PROJECT AND STABILIZATION IS COMPLETE, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS.
19. NO SEDIMENT TRAP OR SEDIMENT BASIN SHALL BE REMOVED UNTIL A) AT LEAST 75 PERCENT OF THE LOTS WITHIN THE DRAINAGE AREA TO THE TRAP OR BASIN HAVE BEEN SOLD TO A THIRD PARTY (UNRELATED TO THE DEVELOPER) FOR THE CONSTRUCTION OF HOMES AND/OR B) 60 PERCENT OF THE SINGLE FAMILY LOTS WITHIN THE DRAINAGE AREA TO THE TRAP OR BASIN HAVE BEEN COMPLETED AND THE SOIL STABILIZED. A BULK SALE OF THE LOTS TO ANOTHER BUILDER DOES NOT SATISFY THIS PROVISION. SEDIMENT TRAPS AND SEDIMENT BASINS SHALL NOT BE REMOVED WITHOUT THE EXPRESS AUTHORIZATION OF THE JAMES CITY COUNTY ENVIRONMENTAL DIVISION.
20. RECORD DRAWINGS (AS-BUILTS) AND CONSTRUCTION CERTIFICATIONS ARE BOTH REQUIRED FOR NEWLY CONSTRUCTED OR MODIFIED STORMWATER MANAGEMENT/BMP FACILITIES. CERTIFICATION ACTIVITIES SHALL BE ADEQUATELY COORDINATED AND PERFORMED BEFORE, DURING AND FOLLOWING CONSTRUCTION IN ACCORDANCE WITH THE CURRENT VERSION OF THE JAMES CITY COUNTY ENVIRONMENTAL DIVISION, STORMWATER MANAGEMENT/BMP FACILITIES, RECORD DRAWING AND CONSTRUCTION CERTIFICATION, STANDARD FORMS & INSTRUCTIONS.
21. DESIGN AND CONSTRUCTION OF PRIVATE-TYPE SITE DRAINAGE SYSTEMS OUTSIDE VDOT RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT VERSION OF THE JAMES CITY COUNTY ENVIRONMENTAL DIVISION, STORMWATER DRAINAGE CONVEYANCE SYSTEMS (NON-BMP RELATED), GENERAL DESIGN AND CONSTRUCTION GUIDELINES.

VDOT GENERAL NOTES
REVISED 08/04

1. A Land Use Permit must be obtained from VDOT before any construction is started within the existing state right of way. Contact the VDOT Residency for the permit fee and bond amount. All Land Use Permit applications must have two (2) sets of approved plans, a check for the processing fee made payable to VDOT, and surety in the required amount.
2. The developer is responsible for the relocation of any utilities or pavement markings within the existing right of way or proposed right of way required by the development of the site/subdivision.
3. The developer is responsible for the cost of a traffic signal or any modifications to an existing traffic signal that are determined to be necessary. These costs will be charged under an Operational Project (Accounts Receivable) Number. Contact the VDOT Residency for the proper procedure.
4. Prior to any construction, the contractor shall consult with the developer's engineer to verify the final approval of the plans, or any revised plans, by the various agencies (County, VDOT, etc.).
5. VDOT approval of these plans will expire in five (5) years from the date of approval.
6. VDOT is to receive written notification 48 hours prior to the start of any work. A pre-construction meeting will be required prior to any final disturbance of the site. The developer, geotechnical (soils) engineer, and contractor shall attend the pre-construction meeting. The developer's contractor shall have a proposed progress schedule of work.
7. Any errors, conflicts, or discrepancies found on the approved plans shall be reported to the developer's engineer and VDOT for resolution before proceeding further with the work.
8. The developer's engineer and contractor (sub-contractor) shall verify in the field the elevations of all points of connection of proposed work to existing curbs, sanitary sewer, storm sewer, drainage abutments, waterlines, etc., prior to the construction in the field.
9. An Operational Project (Accounts Receivable) Number may be assigned to the site/subdivision. The developer will be responsible for this by providing the necessary information requested by VDOT.
10. All materials and construction within the proposed public right of way, to include private entrances, shall be in accordance with the current VDOT specifications and standards.
11. Any request for a change of specifications or design from the approved plans will need to be submitted to VDOT. A letter must accompany the proposed changes and revised plan sheets and/or drainage calculations for review and approval by the VDOT Resident Engineer.
12. The developer will be responsible for providing the Geotechnical (soils) Engineer. A professional engineer or professional geologist will submit a complete report with boring data and recommendations to VDOT for approval of his proposed method of construction. This report shall include shrink swell values of the soils, moisture sensitive soils, slope analyses, dry and wet CBR values, standard proctor and Atterberg Limits. The report will show the bore locations, types of soils encountered, and stabilization recommendations for soils with poor support values, high moisture, mica, and silt content. The report shall include a pavement structural design recommendation based on laboratory tests of the actual soils and approved traffic volume for the site/subdivision in accordance with the latest VDOT *Pavement Design Guide for Suburban and Secondary Roads in Virginia*.
13. When soils occur that are unsuitable for foundations, embankment fill, pipe backfill, subgrade, or other roadway purposes, the contractor shall, under the direction of the developer's soils engineer, by undercutting such material to a depth of 12 inches below the proposed grades shown on the plans. The contractor shall notify the developer's engineer and VDOT upon the discovery of the unsuitable material. Concurrence of the engineer shall be obtained before additional work is undertaken.
14. All erosion and sediment control measures shall be the responsibility of the contractor. All erosion control measures will be in place and reviewed by the contractor daily and after all inclement weather to insure compliance for the control of any erosion and siltation. Any corrections or repairs will be made immediately. In accordance with Road and Bridge Specifications, VDOT requires an individual certified by the Virginia Department of Conservation and Recreation, holding a Responsible Land Disturbance Certification, to be in charge of the land disturbance activity and on the work site at all times.
15. The contractor and subcontractor(s) shall have a copy of the current VDOT Road and Bridge Specifications and the VDOT Road and Bridge Standards. The contractor shall have at least one (1) set of approved plans with all approved revisions. The Land Use Permit will be at the site at all times.
16. The contractor shall be responsible for locating and protecting all underground and overhead utilities, whether or not they are shown on the plans. The contractor will be responsible for repairs at his own expense of any utilities damaged by his construction methods. MISS UTILITIES must be contacted at 1-800-552-7001 at least 72 hours prior to the commencement of construction.
17. The contractor will be responsible for replacing, with matching materials, any pavement, curb and gutter, driveway, pipe, sidewalks, etc. that are damaged during the construction of the site/subdivision.
18. Certification and source of materials are to be submitted to VDOT. All materials must meet VDOT specifications and standards.
19. The developer's Geotechnical Engineer and/or his certified materials technicians will perform compaction (density) tests for review by VDOT. The test will be performed in accordance with the current VDOT specifications and standards. Backfill material for pipe structures, and utilities installed within the proposed right of way will be compacted and tested as the fill material is placed in uniform lifts. A minimum of 95% density with the soils standard proctor will be obtained with the proper moisture content on embankment and subgrade. For the pipe structures, 100% density will be obtained. The test results will be submitted to VDOT for review and compliance of the materials, prior to the developer's contractor requesting an inspection for a proof roll on the subgrade, aggregate base, base mix (asphalt) or the placement of the surface mix.
20. All drainage easements shall be labeled as either "Drainage Easements" or "County Drainage Easements" and shall not be dedicated to VDOT or become the responsibility of VDOT. VDOT does not accept responsibility for the maintenance of the detention/retention ponds or its structures, and shall be saved harmless from any damages.
21. Temporary drainage measures will be maintained by the contractor during construction to relieve areas that may cause damage to the right of way, roadway, or adjacent properties.
22. Any gutter (rip rap) is not allowed in the ditches on VDOT right of way.
23. All storm sewer pipes shall be reinforced concrete pipe (tongue and groove) in accordance with ASTM-C-76 or an alternative that has been approved on the plans.
24. Installation of pipe culverts, storm sewers, and drainage structures shall have bedding material placed under the pipes and structures in accordance with VDOT specifications (a minimum of 4" under pipes and a minimum of 6" under drainage structures). The backfill shall be compacted with current VDOT specifications and standards to achieve the theoretical density of the material. Gravelm moisture shall be in accordance with Uniform Tests and tested for density.
25. All vegetation (organic material, roots, stumps) and overburden are to be removed from the shoulders prior to the construction of the road's subgrade.
26. All concrete shall be Class A3-AE (3000PSI with or without additive) and tested by the developer's Geotechnical Engineer for conformance to VDOT specifications and standards.
27. There shall be a minimum of 6" of compacted 21-30 grad aggregate material or stone depth shall match the existing pavement type under the curb and gutter; this material shall extend 1' beyond the back of the curb and gutter. Density tests shall be taken prior to the proof roll of the material placement of the curb/furrow and gutter. Underdrains will be installed on raised curb medians in accordance with current VDOT specifications and standards.
28. All streets with curb and gutter shall have a standard CG entrance installed in accordance with the current VDOT Road and Bridge Specifications and Standards. The curb and gutter pan shall be removed prior to the installation of the entrance unless a wipe-down of the curb was made during the installation of the curb and gutter. The saw cutting and removal of only the curb portion is **not allowed**. It is the developer's responsibility to insure that the builders have installed all concrete entrances in accordance with VDOT specifications and standards.
29. All underground utilities are to be in place prior to the placement of the base material and shall have a minimum covering of 36". On proof roll of the material, the area directly behind the curb to the right of the lay line shall be relatively flat at the prime entrance location. The developer's contractor shall cut embankments to the right of way prior to the installation of all underground utilities to insure a minimum 36" of cover.
30. The sub-base and/or base material shall have a roller pattern and a control strip with densities performed on the material and the test results submitted to VDOT prior to the proof roll of the material and the placement of the asphalt (hot mix) course. The material shall be at limited grade, have the template as shown on the pavement typical, and have a stone depth and proof roll performed by VDOT and the developer's soils engineer. Density (compaction) tests will be performed using a roller pattern and a control strip in accordance with current VDOT specifications and standards to achieve the theoretical density of the material. Gravelm moisture shall come from the supplier of the material. Any yield material must be corrected prior to the placement of the Hot Mix (asphalt). The Hot Mix shall be placed within 72 hours after the proof roll has been completed satisfactorily. Any significant reball prior to the placement of the prime coat and/or Hot Mix will require another proof roll to insure the material is stabilized and non-yielding.
31. In accordance with Section 311 of the VDOT Road and Bridge Specifications, a prime coat of .30 gal./sq. yd. will be required for any pavement typical with less than 4" of Hot Mix prior to the placement of the surface course.
32. All Hot Mix (asphalt) courses shall be placed in accordance with Section 315 of the current VDOT Road and Bridge Specifications. The weather limitations of a 40°F surface temperature or 50°F or less and rising air temperature shall be followed. The developer's Geotechnical Engineer shall test the material to insure compliance with current VDOT specifications and the supplier's job mix design. The developer's Geotechnical Engineer shall also perform a roller pattern and a control strip for the theoretical density (compaction) of the material in accordance with the current VDOT specifications.
33. All utility cabinets, pedestals, and streetlights shall be located in accordance with clear zone requirements, as noted in the Road Design Manual. There shall not be any cabinets, pedestals, or fire hydrants located on the shoulder.
34. All storm pipe, drop inlet structures, ditches, and curb and gutter shall be cleaned of debris and silt during the last stages of construction.
35. Piers, shrubs, and trees shall not be placed within the proposed right of way by the developer or homeowner without an approved cut tree and an approved planting agreement. No irrigation (sprinkler) systems shall be located within the proposed right of way. Any irrigation system found within the right of way will be removed prior to the acceptance of the streets and all costs will be borne by the owner. No brick columns, enclosures, and/or brick mailboxes will be constructed or installed in the proposed right of way. Any of the above items found in the proposed right of way will be removed, and all costs of the removal will be borne by the owner and/or developer. The developer is responsible for installing mailboxes posts.
36. No easements shall encroach upon the proposed right of way; any easements located within the proposed right of way must be removed prior to the acceptance of the streets. The developer shall be responsible for any easements located within the proposed right of way prior to the acceptance of the streets into the State Secondary road system.
37. Contact Mr. Sal Skala 72 hours in advance of all pavement markings/sign installations at (757) 925-1679. Failure to do so may result in additional cost to the developer.
38. Contact Traffic Engineering at (757) 925-2693 a minimum of 48 hours in advance whenever an open cut or boring of a utility line crosses a road is within 400 feet of a traffic signal, so the lines can be marked. Failure to do so could be a costly repair for the developer.

[illegible]

Old Towne Road, Suite 1
 23188
 (757) 253-0040
 Fax (757) 220-8994



CONSULTING ENGINEERS
WILLIAMSBURG • RICHMOND

NOTES AND DETAILS
PARKING LOT & FIRE LINE AMENDMENT
WILLIAMSBURG COMMUNITY
CHAPEL BUILDING EXPANSION

Designed JAG	Drawn JAG
Scale N/A	Date 5/10/07
Project No. 9151-02	
Drawing No. 10 AS-BUILT	

STORMWATER MANAGEMENT/ BMP FACILITY MAINTENANCE PLAN

PROPER MAINTENANCE OF THIS FACILITY IS ENCOURAGED TO PREVENT THE INTRODUCTION OF DEBRIS AND SEDIMENT IN TO THE FACILITY, SPILLWAY(S) AND DOWNSTREAM WATERWAYS. FOLLOWING INSTALLATION OF THE FACILITY AND DURING MAINTENANCE OF VEGETATION IN DISTURBED AREAS, INSPECTIONS FOR SEDIMENT BUILUPS WILL BE PERFORMED AT LEAST ONCE PER YEAR. IF ANTICIPATED THAT UNDER NORMAL CONDITIONS, SEDIMENT REMOVAL FROM THE FACILITY WILL BE REQUIRED EVERY 10 YEARS. IF OTHER CONSTRUCTION OR MAINTENANCE ACTIVITIES ARE PERFORMED ON UPSLOPE PARCELS, ADEQUATE PROTECTION SHOULD BE PROVIDED AND INSPECTIONS PERFORMED AT LEAST ONCE WEEKLY.

A DESIGNATED REPRESENTATIVE OF THE OWNER WILL INSPECT THE SWM STRUCTURE AFTER EACH SIGNIFICANT RAINFALL EVENT OR THE FOLLOWING WORKING DAY IF A WEEKEND OR HOLIDAY OCCURS. A SIGNIFICANT RAINFALL FOR THIS STRUCTURE IS DEFINED AS ONE (1) INCH OR MORE OF GAUGED RAINFALL WITHIN A FIFTY (50) MILE RADIUS PER YEAR. A REPRESENTATIVE OF THE COUNTY MAY JOINTLY INSPECT THE STRUCTURE. APPROPRIATE ACTION, PERFORMED AT THE COST OF THE OWNER, WILL BE TAKEN TO ENSURE APPROPRIATE MAINTENANCE, WHERE STRUCTURES ARE TO BE MAINTAINED JOINTLY. ALLOCATION OF MAINTENANCE COSTS WILL BE IN ACCORDANCE WITH THE TERMS ESTABLISHED IN MAINTENANCE AGREEMENTS. KEYS TO LOCKED ACCESS POINTS SHALL BE MADE AVAILABLE TO COUNTY INSPECTION PERSONNEL UPON REQUEST.

INSPECTION AND MAINTENANCE OF THE FACILITY WILL CONSIST OF THE FOLLOWING ADDITIONAL MEASURES:

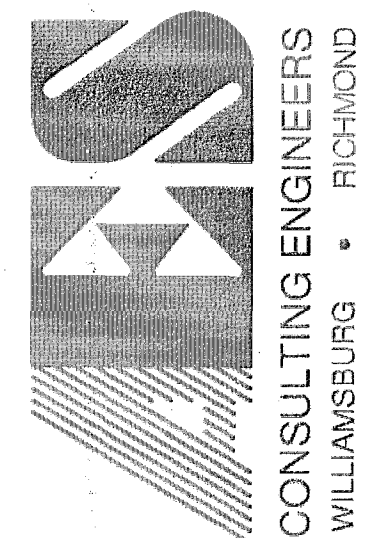
1. THE INSPECTION FOR SEDIMENT BUILDUP WILL BE PERFORMED BY VISUAL INSPECTION AND A PHYSICAL DETERMINATION OF SEDIMENT DEPTH WITHIN THE STORAGE AREA. IF THE DEPTH OF SEDIMENT REACHES THE DEPTH OF 1.0 FT. ABOVE THE BOTTOM OF THE LOW FLOW ORIFICE IN THE TIMBER WALL, REMOVAL IS REQUIRED USING A RUBBER-WHEELED BACKHOE. AT THIS TIME, THE STILLING BASINS LOCATED AT THE OUTFALLS OF THE STORM SEWER PIPE SYSTEMS SHALL ALSO BE INSPECTED. IF THE DEPTH OF SEDIMENT WITHIN THE STILLING BASINS REACHES A DEPTH OF 18" ABOVE THE BOTTOM OF THE BASIN OR 6" ABOVE THE INVERT OF THE OUTFALL PIPE, REMOVAL OF THE MATERIAL IS REQUIRED. AT THE SAME TIME, OR AT LEAST ONCE PER YEAR, CLEAN THE OUTLET PIPES WITHIN THE TIMBER WALL DETENTION BASINS OF ACCUMULATED SEDIMENTS. DISPOSE OF SEDIMENTS REMOVED FROM THE FACILITY AT AN ACCEPTABLE DISPOSAL AREA.
2. PERFORM QUARTERLY INSPECTIONS OF THE TIMBER STRUCTURE AND SPILLWAY DEVICES FOR THE OBSERVANCE OF COLLECTED DEBRIS. IMMEDIATELY REMOVE ANY DEBRIS TO MAINTAIN THE INTEGRITY OF THE STRUCTURE AND PROVIDE AN ATTRACTIVE APPEARANCE.
3. PERFORM YEARLY STRUCTURAL INSPECTIONS OF THE FACILITY FOR DAMAGE. STRUCTURAL INSPECTION SHALL BE PERFORMED ON THE TIMBER WALL, ORIFICE/ WEIR(S), OUTLET DEVICE AND STONE APRONS. IF DAMAGE IS EVIDENT, FURTHER INVESTIGATION BY A PROFESSIONAL ENGINEER MAY BE REQUIRED TO ASSESS THE INTEGRITY OF THE STRUCTURE.
4. PERFORM QUARTERLY INSPECTIONS OF THE GRADED SIDE SLOPES OF THE DETENTION FACILITY FOR SIGNS OF ANIMAL/ RODENT BORROWS OR SLOPE EROSION. IMMEDIATELY PERFORM NECESSARY REPAIRS, REFILLING OR RESEEDING AS APPROPRIATE.
5. RECORD KEEPING. THE OWNER OR DESIGNATED REPRESENTATIVE SHALL KEEP REASONABLE, ACCURATE WRITTEN RECORDS OR INSPECTIONS PERFORMED FOR THE STRUCTURE. RECORDS SHALL DOCUMENT OR REPAIRS PERFORMED. COPIES SHALL BE PROVIDED TO THE COUNTY UPON REQUEST.
6. THE FACILITY SHALL NOT BE MODIFIED IN ANY WAY WITHOUT PRIOR CONSENT/ APPROVAL OF THE COUNTY.

GENERAL NOTES FOR CONSTRUCTION OF STORMWATER BASINS

1. THE CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS NEEDED TO CONSTRUCT THE STORMWATER BASIN, STORMWATER MANAGEMENT PONDS, BEST MANAGEMENT PRACTICES, SEDIMENT BASINS AND SEDIMENT TRAPS. THE WORK SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND MATERIALS NEEDED FOR THE COMPLETION OF GRADING AND EARTHWORK ASSOCIATED WITH THE CONSTRUCTION.
2. THE OWNER SHALL CONSULT AND PROVIDE FOR THE SERVICES OF A GEOTECHNICAL ENGINEER. THE GEOTECHNICAL ENGINEER SHALL PROVIDE TEST RESULTS ON PLACED FILL MATERIALS, IDENTIFYING SOIL CLASSIFICATION, PERMEABILITY, PLASTICITY INDEX, AND COMPACTION. ALL TESTS SHALL BE IN CONFORMANCE WITH ASTM STANDARDS. THE COST OF THE SERVICES OF THE GEOTECHNICAL ENGINEER SHALL BE THE RESPONSIBILITY OF THE OWNER. SATISFACTORY GEOTECHNICAL RESULTS ARE NEEDED PRIOR TO FINAL APPROVAL.
3. ALL INSPECTIONS REQUIRED FOR THE WORK SHALL BE PERFORMED BY A GEOTECHNICAL ENGINEER AT THE EXPENSE OF THE OWNER.
4. ON-SITE EXCAVATED MATERIAL, IF DETERMINED SUITABLE FOR USE AS FILL MATERIAL BY A GEOTECHNICAL ENGINEER, MAY BE USED FOR CONSTRUCTION. WITHOUT ADDITIONAL MATERIAL BEING REQUIRED, THE CONTRACTOR SHALL IDENTIFY THE NEED FOR MATERIAL TO THE OWNER, AS ADDITIONAL BORROW MATERIAL MAY BE AVAILABLE ON THE STONEHOUSE PROPERTY. ALL EXCAVATED MATERIAL DETERMINED BY THE GEOTECHNICAL ENGINEER TO BE UNSUITABLE SHALL BE DISPOSED OF PROPERLY AT THE CONTRACTOR'S EXPENSE. ALL EXCAVATED MATERIAL NOT REQUIRED FOR STABILIZATION SHALL EITHER BE DEPOSITED ON SITE AND SPREAD BY THE CONTRACTOR, OR SHALL BE DEPOSITED IN AN AREA ON THE STONEHOUSE PROPERTY AS DIRECTED BY THE OWNER. THE CONTRACTOR SHALL PROVIDE PROPER STABILIZATION, AND EROSION AND SEDIMENT CONTROL MEASURES NEEDED TO CONTROL AS PER THE VESCH THIRD EDITION.
5. RECORD DRAWINGS (AS-BUILTS) OF THE STORMWATER MANAGEMENT FACILITY PROVIDED BY THESE DRAWINGS MUST BE SUPPLIED TO THE JAMES CITY COUNTY ENVIRONMENTAL DIVISION WITHIN 30 DAYS OF COMPLETION OF THE SWM/BMP FACILITY. A CONSTRUCTION CERTIFICATE OF THE SWM/BMP SHALL BE SUPPLIED WITH THE RECORD DRAWINGS. RECORD DRAWINGS AND SWM/BMP CERTIFICATION SHALL BE SUBMITTED, REVIEWED AND APPROVED BY THE STAFF OF THE JAMES CITY COUNTY ENVIRONMENTAL DIVISION PRIOR TO THE RELEASE OF POSTED BONDS AND/OR SURETIES.

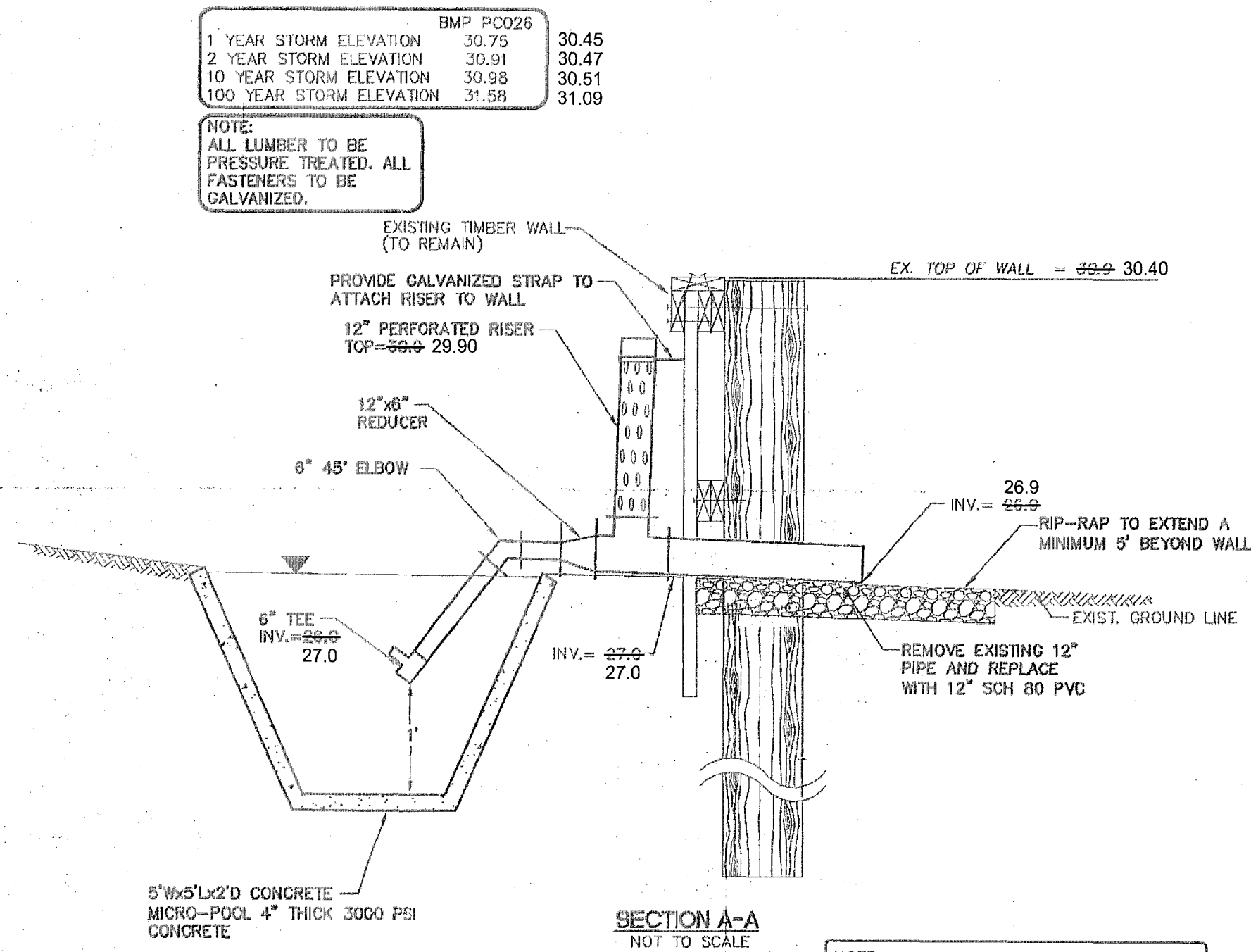
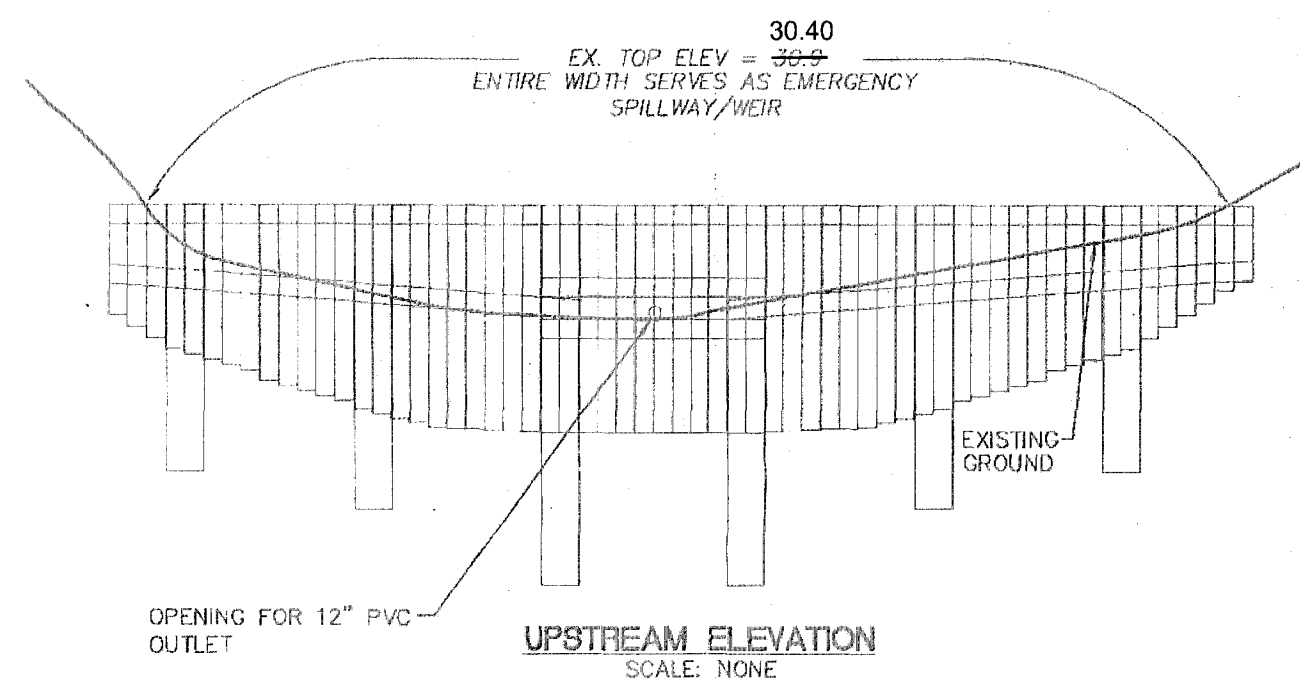
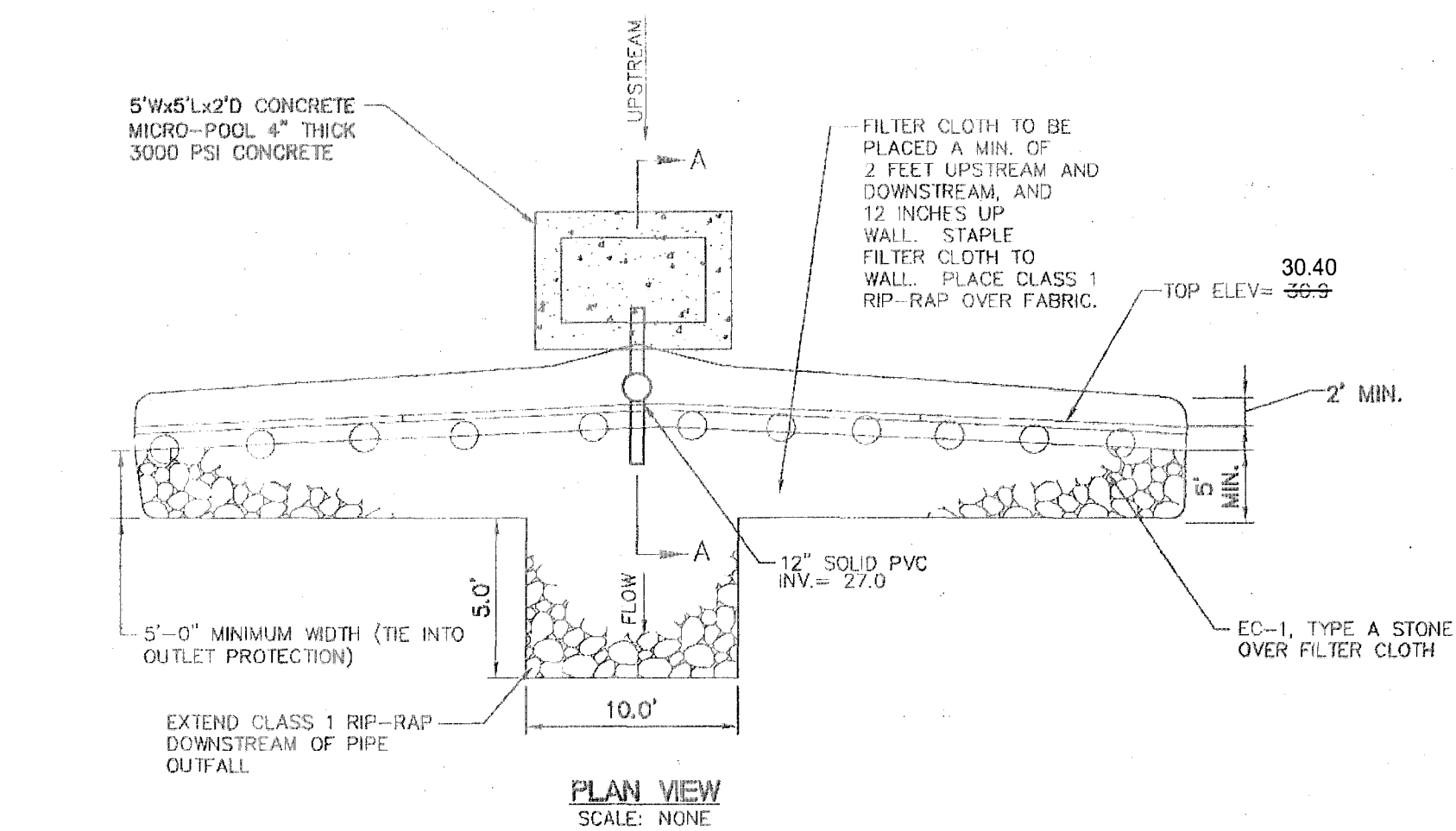
[illegible]

5248 Olde Towne Road, Suite 1
Williamsburg, Virginia 23188
(757) 253-0040
Fax (757) 220-8994



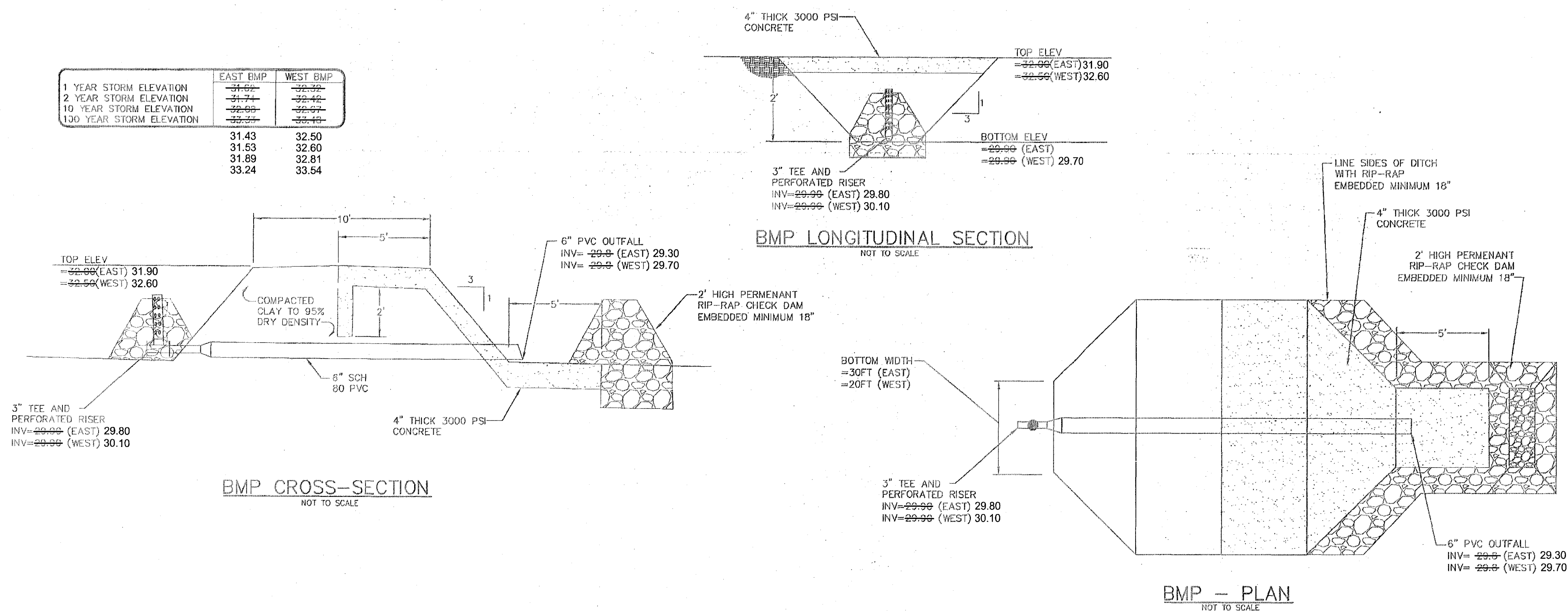
STORMWATER NOTES AND DETAILS.
PARKING LOT & FIRE LINE AMENDMENT
WILLIAMSBURG COMMUNITY
CHAPEL BUILDING EXPANSION
BERKELEY DISTRICT JAMES CITY COUNTY VIRGINIA

Designed JAG	Drawn JAG
Scale AS NOTED	Date 5/10/07
Project No. 9151-02	
Drawing No. 12 AS-BUILT	



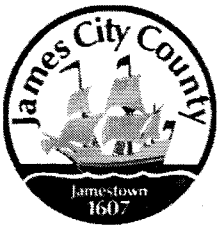
EXISTING DRY DETENTION BMP #PC076

	EAST BMP	WEST BMP
1 YEAR STORM ELEVATION	31.62	32.32
2 YEAR STORM ELEVATION	31.74	32.42
10 YEAR STORM ELEVATION	32.88	32.67
100 YEAR STORM ELEVATION	35.35	35.18



EAST AND WEST SIDE BMPS

BMP RECORD DRAWING 6/26/2008



Stormwater Division

MEMORANDUM

DATE: March 4, 2010
TO: Michael J. Gillis, Virginia Correctional Enterprises Document Management Services
FROM: Jo Anna Ripley, Stormwater
PO: 270712
RE: Files Approved for Scanning

General File ID or BMP ID: PC076

PIN: 4610100002A

Subdivision, Tract, Business or Owner

Name (if known):

Williamsburg Community Chapel

Property Description:

Church site

Site Address:

3899 John Tyler Highway

(For internal use only)

Box 5

Drawer: 3

Agreements: (in file as of scan date)

N

Book or Doc#:

Page:

Comments

This is a combined file with PC076, PC231, and PC232, 063, PC122

WATERSHED	PC	MAINTENANCE PLAN	No	CTRL STRUC DESC	Perf Riser
BMP ID NO	076	SITE AREA acre	15.2	CTRL STRUC SIZE inches	12
PLAN NO	SP-125-96	LAND USE	Church	OTLT BARRL DESC	CMP Barrel
TAX PARCEL	(46-1)(1-2A)	old BMP TYP	Timber Crib Wall	OTLT BARRL SIZE inch	12
PIN NO	4610100002A	JCC BMP CODE			
CONSTRUCTION DATE		POINT VALUE	4	EMERG SPILLWAY	No
PROJECT NAME	Williamsburg Comm. Chapel BMP 1			DESIGN HW ELEV	31.4
FACILITY LOCATION	3899 John Tyler Highway			PERM POOL ELE	na
CITY-STATE		SVC DRAIN AREA acres	45.75	2-YR OUTFLOW cfs	31.47
CURRENT OWNER	Williamsburg Community Chapel			10-YR OUTFLOW cfs	72.74
OWNER ADDRESS	3899 John Tyler Highway	REC DRAWING	No		
OWNER ADDRESS 2		SERVICE AREA DESCRI	Church & Adjacent Parcel		
CITY-STATE-ZIP CODE	Williamsburg, Va. 23185	IMPERV AREA acres	28.60	CONSTR CERTI	No
OWNER PHONE		RECV STREAM	UT of Powhatan Creek		
MAINT AGREEMENT	Yes	EXT DET-WQ-CTRL	Yes	LAST INSP DATE	10/16/2000
EMERG ACTION PLAN	No	WTR QUAL VOL acre-ft	0.47	INTERNAL RATING	3
		CHAN PROT CTRL	No	MISC/COMMENTS	
		CHAN PROT VOL acre-ft		Front corner of highway (west). Also	
		SW/FLOOD CONTROL	Yes	see PC 122 & PC 063.	
		GEOTECH REPORT	No		

Get Last BMP No

Return to Menu

**James City County Stormwater Division
Stormwater Management / BMP Inspection Report
Timber Crib Walls**

Submit by Email

Print Form

County BMP ID Code

Name of Facility BMP No: Date

Location

Owner Name

Inspector Name

Type of Facility

Weather Conditions Type ☐ Final Inspection ☒ County BMP Inspection Program ☐ Owner Inspection

If an inspection item is not applicable, mark NA, otherwise mark the appropriate column.

O.K. - The item checked is in adequate condition and the maintenance program is currently satisfactory. No action required.

Routine - The item checked requires attention, but does not present an immediate threat to the function/integrity of the BMP.

Urgent - The item checked requires immediate attention to keep the BMP operational and to prevent damage to the facility.

Provide an explanation and details in the comment column, if routine or urgent are marked.

Facility Item	O.K.	Routine	Urgent	Comments
Wall Conditions:				
Piles	X			
Walers/Joists/Wood	X			
Joints	X			
Caps		X		Tree has fallen across one end
Base of Wall/Toe	X			
Vegetation Along Wall	X			
Other				
Interior Landscaping/ Planted Areas:	<input checked="" type="checkbox"/> None <input type="checkbox"/> Constructed Wetland/ Shallow Marsh <input type="checkbox"/> Naturally Established Vegetation			
Vegetated Condition	X			
Trash & Debris		X		Small amounts of debris
Floating Material	X			
Erosion	X			
Sediment	X			
Dead Plant	X			
Aesthetics	X			
Other				
Notes:				

Facility Item	O.K.	Routine	Urgent	Comments
Nuisance type Conditions:				
Mosquito Breeding	X			
Animal Burrows	X			
Graffiti	X			
Other				
Surrounding Perimeter Conditions:				
Land Uses	X			
Vegetation	X			
Trash & Debris	X			
Aesthetics	X			
Access/Maintenance Road or Path	N/A			
Other				

Remarks

Tree has fallen over one end of the wall
Small amounts of debris around wall

Overall Environmental Division Internal Rating: 4

Signature 

Title Inspector II

Date Sep 19, 2008

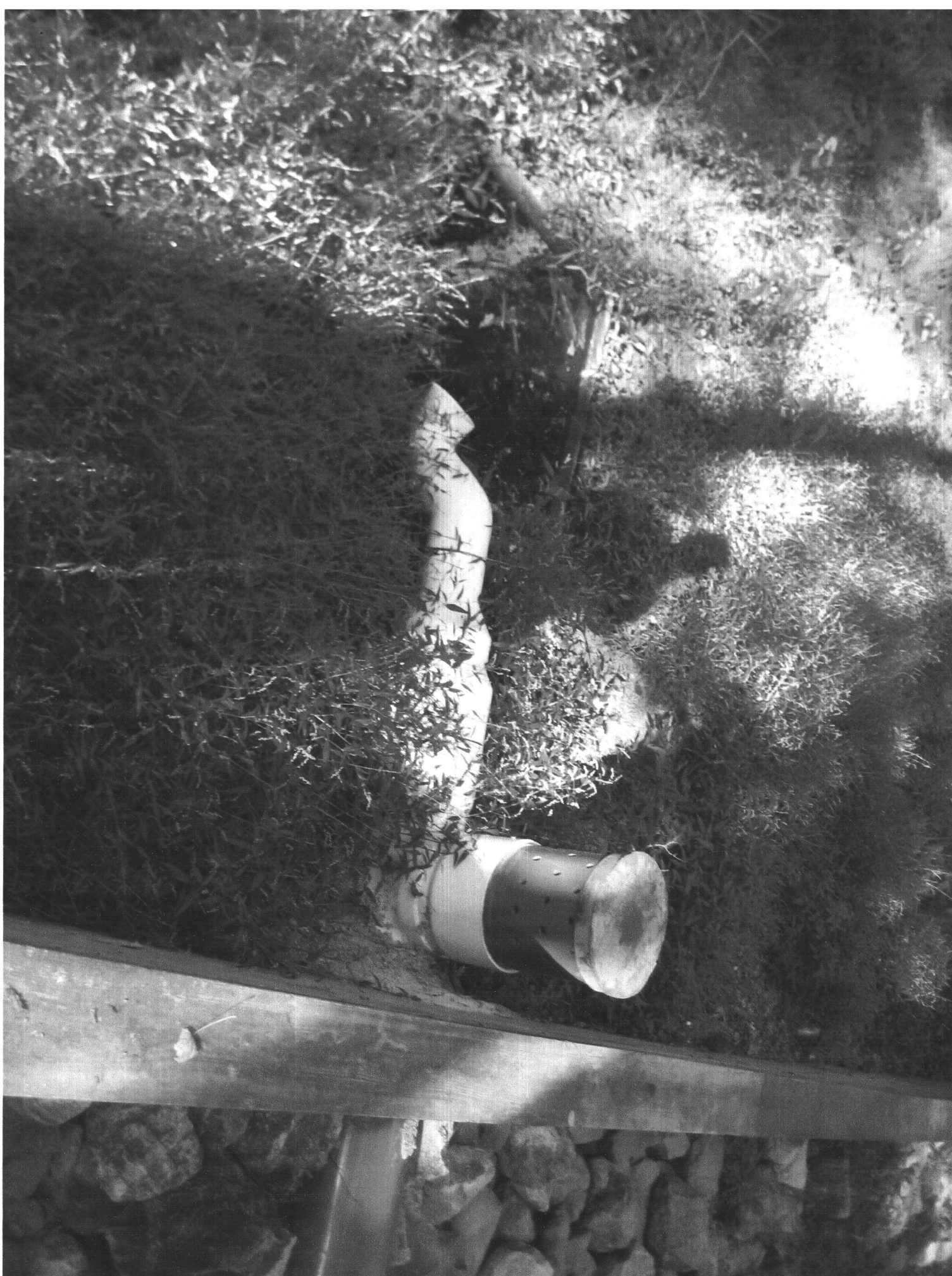
RMP PC096



BMP 076 PC



BMD PC076



BMP PC096



BMP PC 074



BMD PC076



N/F GREENSPRINGS PLANTATION, Inc.
(46-1)(1-1)
ZONED R4

N/F
Bachan & Manorma
RAM
(46-1)(1-4)
ZONED R8

N/F
LEATHER INVESTMENTS
(46-2)(1-32)
ZONED R8

N/F
Jorge & Leticia
LUNA
(46-2)(1-31)
ZONED R8



SP-125-96

AMMUNITY CHAPPEL

ADDITION

PLAN

1996

RY 21, 1997

COUNTY OF JAMES CITY
FINAL SITE PLAN



APPROVALS DATE

Fire Dept. MS/JS 12.26.96

Health Dept. VS/JS 12.18.96

Highway Dept.

Plan Comm.

Pub. Works Dept. DEC/JS 2.28.97

Zoning Adm.

JCSA JCD/JS 3.3.97

Other WMB/JS 2.28.97

Other MS/JS 12.26.96

INDEX OF SHEETS

DRAWING # DESCRIPTION

COVER SHEET

1. SITE AND UTILITY PLAN

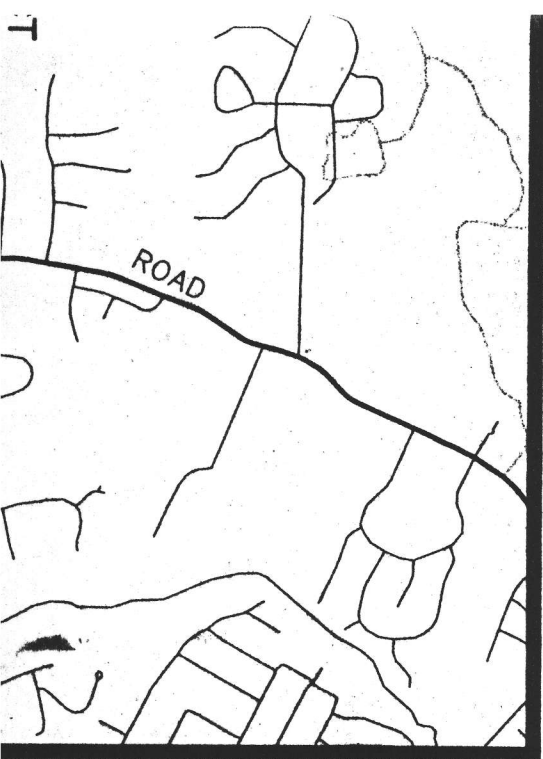
2. DRAINAGE, GRADING & EROSION AND SEDIMENT CONTROL PLAN

3. DRAINAGE, GRADING & EROSION AND SEDIMENT CONTROL PLAN

4. LANDSCAPING AND LIGHTING PLAN

1" = 10' Y&B

ROAD



LIGHT



LIMITS OF WETLANDS

**VARIABLE WIDTH
MAINTENANCE
EASEMENT**

BMP POND
(SEE DETAILS SHEET 4)

BMP POND

TIMBER WALL —
TOP ELEV=30.9
12" PERFORATED —
CMP RISER

COVER 12 LF OF →
PERFORATED 12" STEEL PIPE
CMR W/ CLASS 2
27.13
A1 BIP. PAP

PROVIDE (6' LONG x 3' ^Ø DIA. MIN 18") DEEP RIP-RAP APPROX. BED CONSISTING OF CLASS A1 STONE (APPROX. 1 C.Y. REQD.)

LIMITS OF CLEARING

CONCRETE DAM
WITH EMERGENCY
RUNOFF WEIR

11" STEEL PIPE

COMMONWEALTH OF VIRGINIA
 R. A. Costello
 RICHARD A. COSTELLO
 CERTIFICATE NO.
 013250
 12/14/90
 CERTIFIED PROFESSIONAL ENGINEER

1	1/20/97	REVISED PER JCC COMMENTS	CAN
No.	DATE	REVISION / COMMENT / NOTE	BY

RR PROVIDE 5' LONG X 5' WIDE RIPRAP APRON CONSISTING OF CLASS A1 STONE (MIN. 18" DEEP, APPROX. 1.5 CY REQ'D.)

APPROX. 30 L.F. OF CONC. SWALE

APPROX. 40' GRASS SWALE

LIMITS OF CLEARANCE

EXISTING POND (TO BE DRAINED, UNDERCUT AS NECESSARY & FILLED W/ SELECT FILL MATERIAL)

PROPOSED ASPHALT PARKING (SEE DETAIL SHEET 4)

RIP RAP (TO BE REMOVED AND REUSED)

EXIST. YARD LIGHT

BASKETBALL POST

CONTRACTOR SHALL TIE INTO AND MATCH EXISTING ASPHALT PARKING LOT

PROPOSED TIMBER CURB

PROPOSED ASPHALT PARKING (SEE DETAIL SHEET 4)

APPROX. 60 L.F. OF TIMBER CURB

CONTRACTOR SHALL TIE TIMBER CURB TO TURNDOWN CONC. WALK.

20 LF OF TIMBER CURB TIE INTO TURNDOWN CONC. SIDEWALK

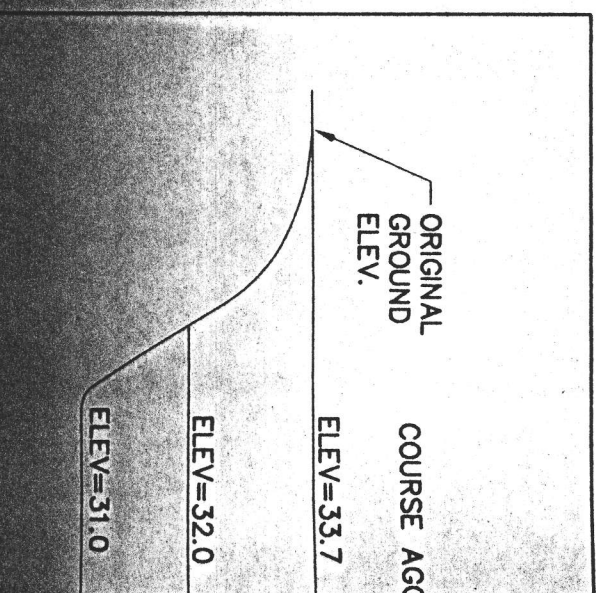
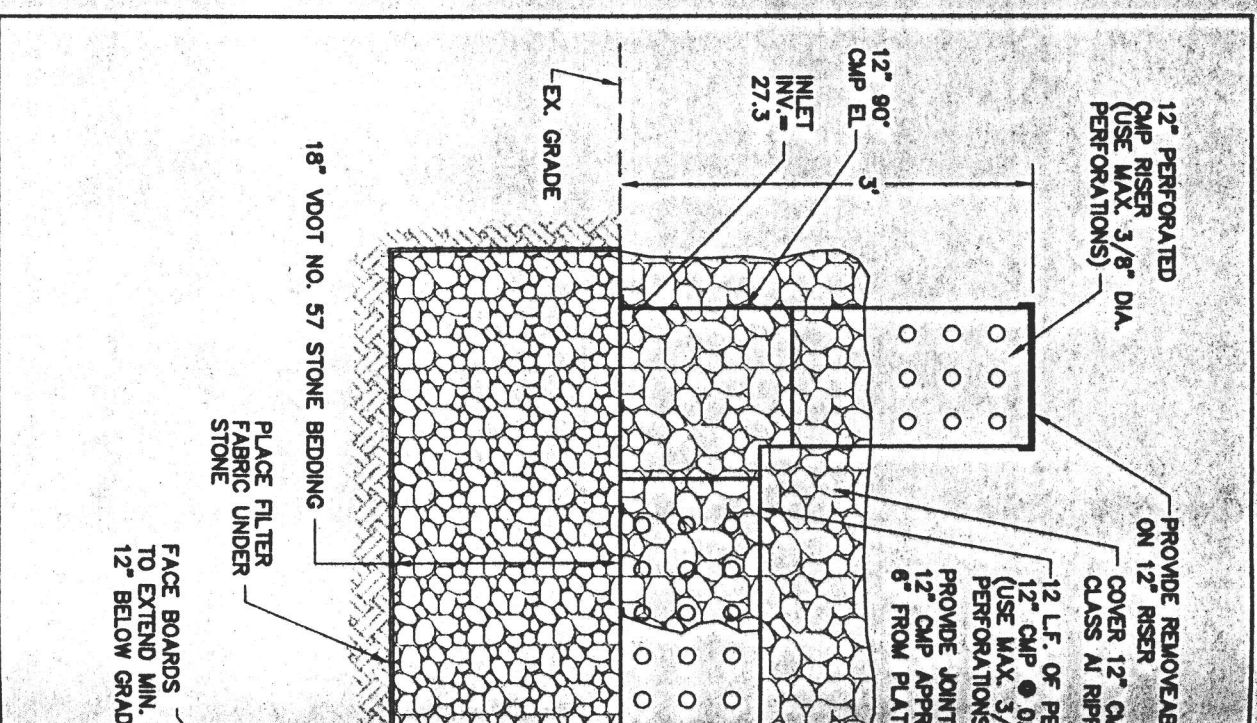
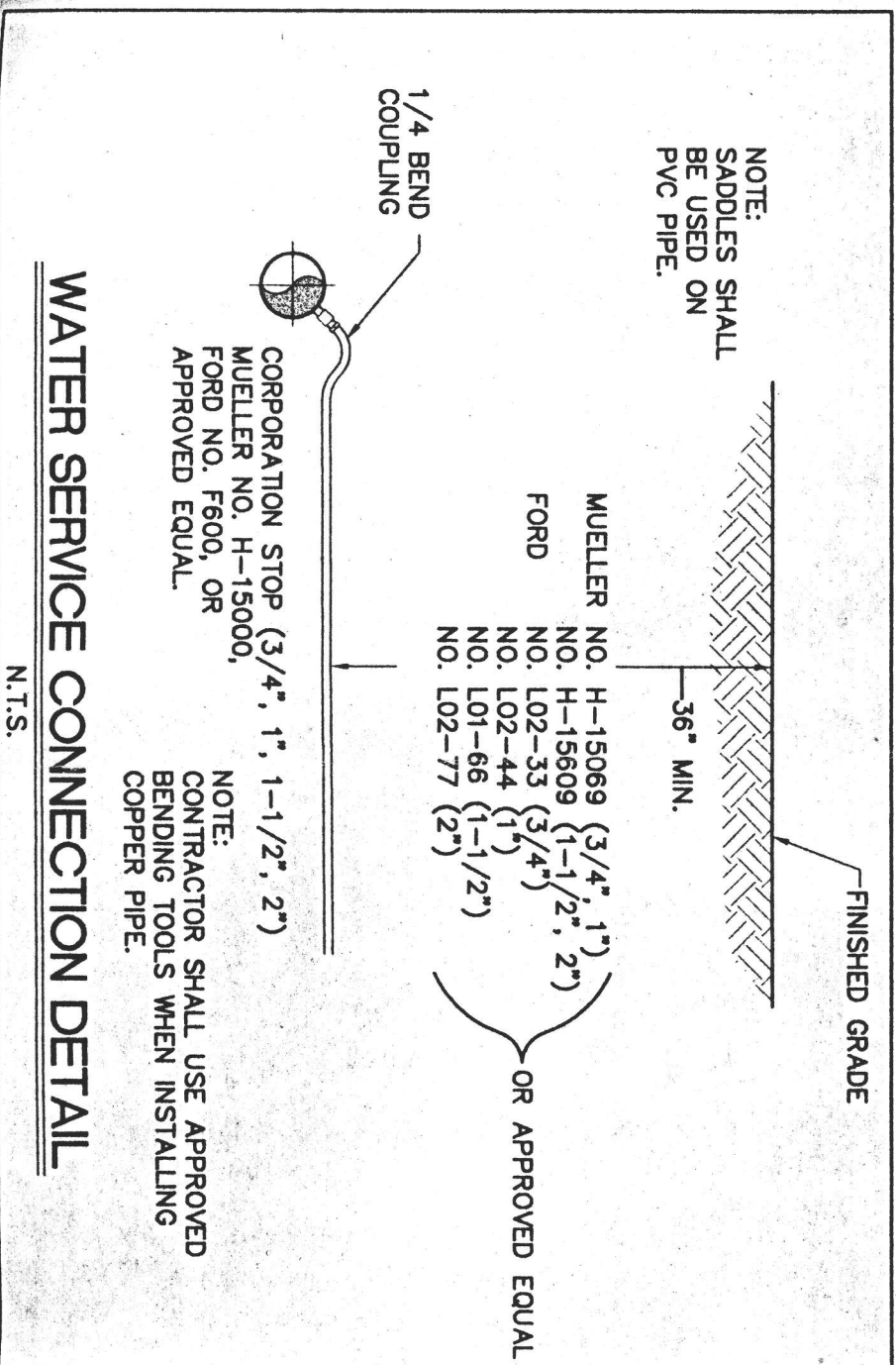
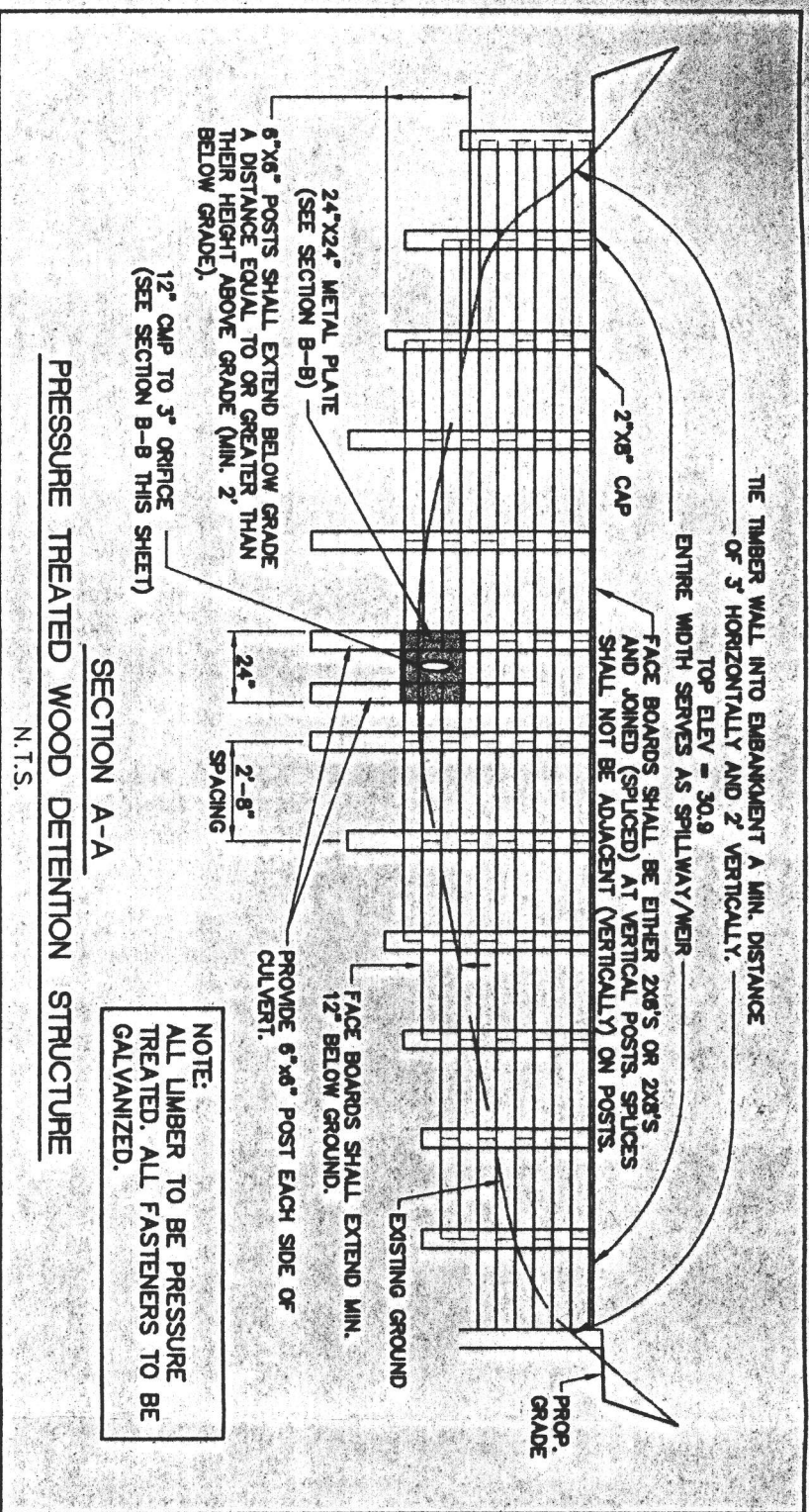
PROPOSED TURNDOWN CONCRETE WALK TO EXISTING (SEE DETAIL SHEET 4)

PROPOSED BUILDING ADDITION

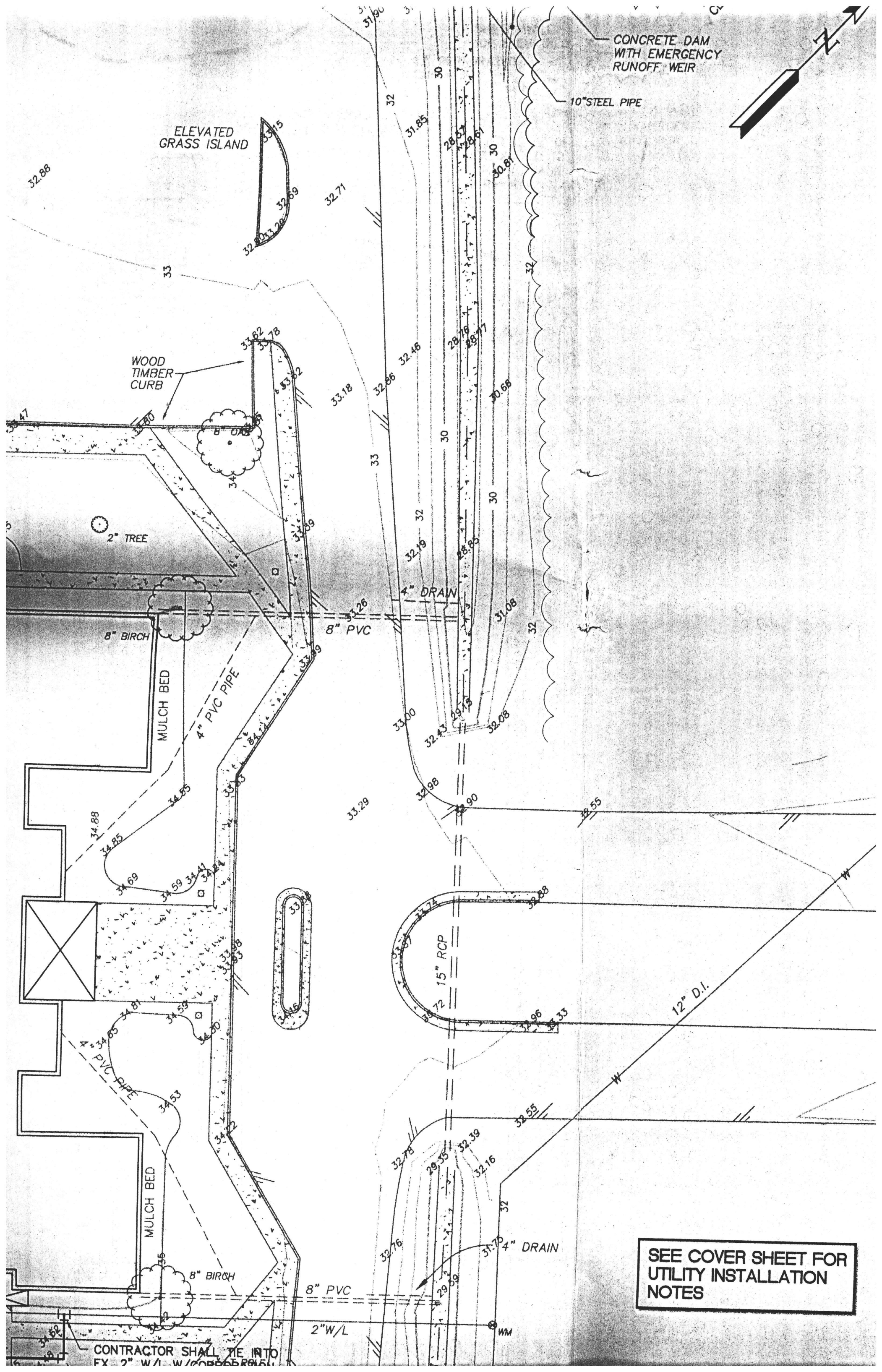
(2 STORY BLDG., MAX. HEIGHT 35')
12,112 S.F. (EACH FLOOR)
FF=33.2
(SEE ARCHITECTURAL PLANS FOR DETAILS)

TP

TP



1. Set the stakes.
2. Excavate a 4"x4" trench upslope along the line of stakes.



CONCRETE DAM
WITH EMERGENCY
RUNOFF WEIR

10" STEEL PIPE

ELEVATED
GRASS ISLAND

WOOD
TIMBER
CURB

2" TREE

8" BIRCH

MULCH BED

4" PVC PIPE

4" DRAIN

8" PVC

15" RCP

12" D.I.

PVC PIPE

MULCH BED

8" BIRCH

8" PVC

2" W/L

WM

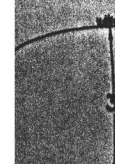
4" DRAIN

SEE COVER SHEET FOR
UTILITY INSTALLATION
NOTES

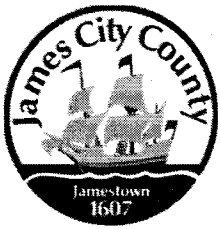
CONTRACTOR SHALL TIE INTO
EX 2" W/L W/CONCRETE DAM

THE PURPOSE OF THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS SHALL BE TO PRECLUDE THE TRANSPORT OF ALL WATERBORNE SEDIMENTS RESULTING FROM CONSTRUCTION ACTIVITIES FROM ENTERING ONTO ADJACENT PROPERTIES OR STATE WATERS. IF FIELD INSPECTION REVEALS THE INADEQUACY OF THE PLAN TO CONFINE SEDIMENT TO THE PROJECT SITE, APPROPRIATE MODIFICATIONS WILL BE MADE TO CORRECT ANY PLAN DEFICIENCIES. IN ADDITION TO THESE NOTES, ALL PROVISIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS SHALL APPLY TO THIS PROJECT.

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK". THE CONTRACTOR SHALL BE THOROUGHLY FAMILIAR WITH ALL APPLICABLE MEASURES CONTAINED THEREIN WHICH MAY BE PERTINENT TO THIS PROJECT.
2. ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED BY A TEMPORARY CONSTRUCTION ENTRANCE TO PREVENT TRACKING OF MUD ONTO PUBLIC RIGHT-OF-WAYS. AN ENTRANCE PERMIT FROM VDOT IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN STATE RIGHT-OF-WAYS. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE, THE ROAD SHALL BE THOROUGHLY CLEANED AT THE END OF EACH DAY.
3. A PRECONSTRUCTION MEETING SHALL BE HELD ON SITE BETWEEN THE COUNTY, THE DEVELOPER, THE PROJECT ENGINEER, AND THE CONTRACTOR PRIOR TO ISSUANCE OF THE LAND DISTURBING PERMIT. THE CONTRACTOR SHALL SUBMIT A SEQUENCE OF CONSTRUCTION TO THE COUNTY FOR APPROVAL PRIOR TO THE PRECONSTRUCTION MEETING. THE CONTRACTOR WILL SUPPLY CODE COMPLIANCE WITH THE NAME OF THE INDIVIDUAL WHO WILL BE RESPONSIBLE FOR ENSURING MAINTENANCE OF INSTALLED MEASURES ON A DAILY BASIS.
4. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT ON-SITE MUST BE CONSTRUCTED AS A FIRST STEP IN GRADING AND BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE. EARTHEN STRUCTURES SUCH AS DAMS, DIKES, AND DIVERSIONS MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER INSTALLATION. PERIODIC INSPECTIONS OF THE EROSION CONTROL MEASURES SHALL BE MADE TO ASSESS THEIR CONDITION. ANY NECESSARY MAINTENANCE OF THE MEASURES SHALL BE ACCOMPLISHED IMMEDIATELY UPON NOTIFICATION BY THE COUNTY AND SHALL INCLUDE THE REPAIR OF MEASURES DAMAGED BY ANY SUBCONTRACTOR INCLUDING THOSE OF THE PUBLIC UTILITY COMPANIES.
5. SURFACE FLOWS OVER CUT AND FILL SLOPES SHALL BE CONTROLLED BY EITHER REDIRECTING FLOWS FROM TRANSVERSING THE SLOPES OR BY INSTALLING MECHANICAL DEVICES TO SAFELY LOWER WATER DOWNSLOPE WITHOUT CAUSING EROSION. A TEMPORARY FILL DIVERSION (STD. & SPEC. 3.10) SHALL BE INSTALLED PRIOR TO THE END OF EACH WORKING DAY.
6. SEDIMENT CONTROL MEASURES MAY REQUIRE MINOR FIELD ADJUSTMENTS AT TIME OF CONSTRUCTION TO INSURE THEIR INTENDED PURPOSE IS ACCOMPLISHED. DIVISION OF CODE COMPLIANCE APPROVAL WILL BE REQUIRED FOR OTHER DEVIATIONS FROM THE APPROVED PLANS.
7. THE CONTRACTOR SHALL PLACE SOIL STOCKPILES AT THE LOCATIONS SHOWN ON THIS PLAN OR AS DIRECTED BY THE ENGINEER. SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. OFF-SITE WASTE OR BORROW AREAS SHALL BE APPROVED BY THE DIVISION OF CODE COMPLIANCE PRIOR TO THE IMPORT OF ANY BORROW OR EXPORT OF ANY WASTE TO OR FROM THE PROJECT SITE.
8. THE CONTRACTOR SHALL COMPLETE DRAINAGE FACILITIES WITHIN 30 DAYS FOLLOWING COMPLETION OF ROUGH GRADING AT ANY POINT WITHIN THE PROJECT. THE INSTALLATION OF DRAINAGE FACILITIES SHALL TAKE PRECEDENCE OVER ALL UNDERGROUND UTILITIES. OUTFALL DITCHES FROM DRAINAGE STRUCTURES SHALL BE STABILIZED IMMEDIATELY AFTER CONSTRUCTION OF SAME. THIS INCLUDES INSTALLATION OF EROSION CONTROL STONE OR PAVED DITCHES WHERE REQUIRED. ANY DRAINAGE OUTFALLS REQUIRED FOR A STREET MUST BE COMPLETED BEFORE STREET GRADING OR UTILITY INSTALLATION BEGINS.
9. PERMANENT OR TEMPORARY SOIL STABILIZATION MUST BE APPLIED TO ALL DENUDED AREAS WITHIN 7 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION MUST ALSO BE APPLIED TO DENUDED AREAS WHICH MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 30 DAYS. SOIL STABILIZATION MEASURES INCLUDE VEGETATIVE ESTABLISHMENT, MULCHING AND THE EARLY APPLICATION OF GRAVEL BASE MATERIAL ON AREAS TO BE PAVED.
10. NO MORE THAN 300' OF SANITARY SEWER, STORM SEWER, WATERLINES, OR UNDERGROUND UTILITY LINES ARE TO BE OPEN AT ONE TIME. FOLLOWING INSTALLATION OF ANY PORTION OF THESE ITEMS, ALL DISTURBED AREAS ARE TO BE IMMEDIATELY STABILIZED (I.E., THE SAME DAY).
11. IF DISTURBED AREA STABILIZATION IS TO BE ACCOMPLISHED DURING THE MONTHS OF DECEMBER, JANUARY, OR FEBRUARY, STABILIZATION SHALL CONSIST OF MULCHING IN ACCORDANCE WITH SPECIFICATION 3.35. SEEDING WILL THEN TAKE PLACE AS SOON AS THE SEASON PERMITS.
12. THE TERM SEEDING, FINAL VEGETATIVE COVER OR STABILIZATION, ON THIS SITE PLAN SHALL MEAN THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF A STABLE GRASS COVER FROM A PROPERLY PREPARED SEEDBED CONTAINING THE SPECIFIED AMOUNTS OF SEED, LIME, AND FERTILIZER IN ACCORDANCE WITH SPECIFICATION 3.32, PERMANENT SEEDING. IRRIGATION SHALL BE REQUIRED AS NECESSARY TO ENSURE ESTABLISHMENT OF GRASS COVER.
13. ALL SLOPES STEEPER THAN 3:1 SHALL REQUIRE THE USE OF EROSION CONTROL BLANKETS SUCH AS EXCELSIOR BLANKETS TO AID IN THE ESTABLISHMENT OF A VEGETATIVE COVER. INSTALLATION SHALL BE IN ACCORDANCE WITH SPECIFICATION 3.35, MULCHING AND MANUFACTURER'S INSTRUCTIONS. NO SLOPES SHALL BE CREATED STEEPER THAN 2:1.
14. INLET PROTECTION IN ACCORDANCE WITH SPECIFICATION 3.07 SHALL BE PROVIDED FOR ALL STORM DRAIN INLETS AS SOON AS PRACTICAL FOLLOWING CONSTRUCTION OF SAME.
15. TEMPORARY LINERS, SUCH AS POLYETHYLENE SHEETS, SHALL BE PROVIDED FOR ALL PAVED DITCHES UNTIL THE PERMANENT CONCRETE LINER IS INSTALLED.
16. PAVED DITCHES SHALL BE REQUIRED WHEREVER EROSION IS EVIDENT. PARTICULAR ATTENTION SHALL BE PAID TO THOSE AREAS WHERE GRADES EXCEED 3%.
17. TEMPORARY EROSION CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL ALL DISTURBED AREAS ARE STABILIZED. AFTER STABILIZATION IS COMPLETE, ALL MEASURES SHALL BE REMOVED WITHIN 30 DAYS. TRAPPED SEDIMENT SHALL BE SPREAD AND SEEDED.
18. AS-BUILT DRAWINGS MUST BE PROVIDED FOR ALL DETENTION/BMP FACILITIES. ALSO UPON COMPLETION, THE CONSTRUCTION OF ALL DETENTION/BMP FACILITIES SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER WHO INSPECTED THE STRUCTURE DURING CONSTRUCTION. THE CERTIFICATION SHALL STATE THAT TO THE BEST OF HIS/HER JUDGEMENT, KNOWLEDGE, AND BELIEF, THE STRUCTURE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVAL PLANS AND SPECIFICATIONS.



I RIPRAP



Stormwater Division

MEMORANDUM

DATE: March 4, 2010
TO: Michael J. Gillis, Virginia Correctional Enterprises Document Management Services
FROM: Jo Anna Ripley, Stormwater
PO: 270712
RE: Files Approved for Scanning

General File ID or BMP ID: PC122

PIN: 4610100002A

Subdivision, Tract, Business or Owner

Name (if known):

Williamsburg Community Chapel

Property Description:

Church site

Site Address:

3899 John Tyler Highway

(For internal use only)

Box 5

Drawer: 3

Agreements: (in file as of scan date)

N

Book or Doc#:

Page:

Comments

This is a combined file with PC076, PC231, and PC232, 063, PC122

Date Record Created:

WS BMPNO:

PC122

Print
Record

Created By:

WATERSHED

PC

BMP ID NO

122

PLAN NO

SP-125-96

TAX PARCEL

(46-1)(1-2A)

PIN NO

4610100002A

CONSTRUCTION DATE

PROJECT NAME

Williamsburg Comm. Chapel BMP 2

FACILITY LOCATION

3899 John Tyler Highway

CITY-STATE

Williamsburg, Va. 23185

CURRENT OWNER

Williamsburg Community Chapel

OWNER ADDRESS

3899 John Tyler Highway

OWNER ADDRESS 2

CITY-STATE-ZIP CODE

Williamsburg, Va. 23185

OWNER PHONE

MAINT AGREEMENT

No

EMERG ACTION PLAN

No

Get Last BMP No

Return to Menu

PRINTED ON
Friday, March 05, 2010
9:44:37 AM

MAINTENANCE PLAN

No

SITE AREA acre

LAND USE

old BMP TYP

JCC BMP CODE

POINT VALUE

CTRL STRUC DESC

CTRL STRUC SIZE inches

OTLT BARRL DESC

OTLT BARRL SIZE inch

Wet Swale

E1 Wet Swale (check dams)

EMERG SPILLWAY

DESIGN HW ELEV

PERM POOL ELEV

2-YR OUTFLOW cfs

10-YR OUTFLOW cfs

REC DRAWING

CONSTR CERTIF

RECV STREAM

EXT DET-WQ-CTRL

WTR QUAL VOL acre-ft

CHAN PROT CTRL

CHAN PROT VOL acre-ft

SW/FLOOD CONTROL

GEO TECH REPORT

No

LAST INSP DATE 10/16/2000

Inspected by:

No

INTERNAL RATING

3

No

MISC COMMENTS

Drainage swale BMP across frontage of property. See PC 076 & PC 063.

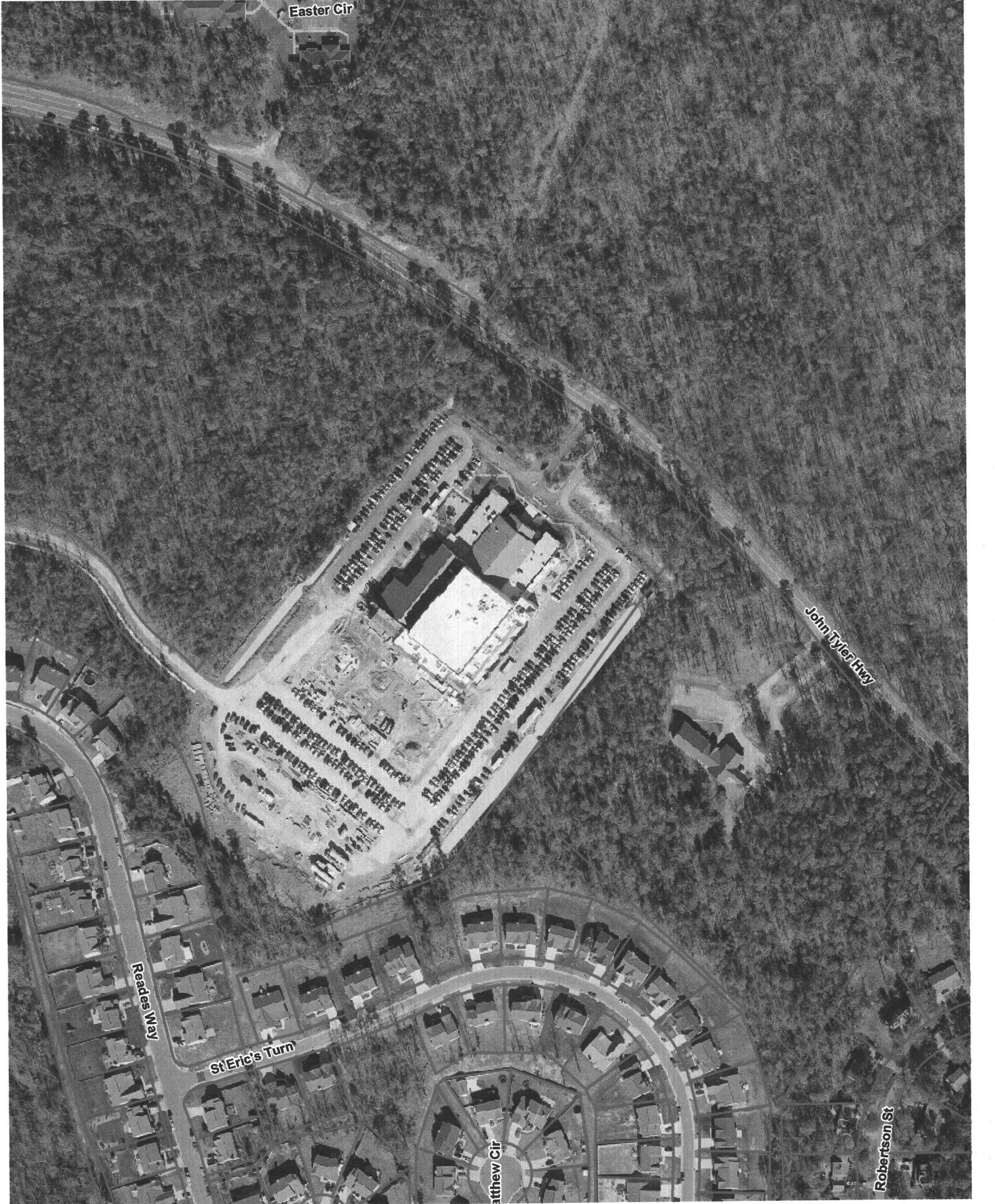
No

Additional Comments:



Williamsburg Community Chapel BMP 2

PC- 122



Easter Cir

John Tyler Hwy

Reades Way

St. Eric's Turn

Matthew Cir

Robertson St

James City County Stormwater Division
Stormwater Management / BMP Inspection Report
Detention and Retention Pond Facilities

Submit by Email

Print Form

County BMP ID Code

Name of Facility BMP No: Date

Location

Owner Name

Inspector Name

Type of Facility

Weather Conditions Type ☐ Final Inspection ☐ County BMP Inspection Program ☐ Owner Inspection

If an inspection item is not applicable, mark NA, otherwise mark the appropriate column.

O.K. - The item checked is in adequate condition and the maintenance program is currently satisfactory. No action required.

Routine - The item checked requires attention, but does not present an immediate threat to the function/integrity of the BMP.

Urgent - The item checked requires immediate attention to keep the BMP operational and to prevent damage to the facility.

Provide an explanation and details in the comment column, if routine or urgent are marked.

Facility Item	O.K.	Routine	Urgent	Comments
Embankments and Side Slopes:				
Grass Height		X		cut higher & seed bare spots
Vegetation Condition	X			
Tree Growth	X			
Erosion	X			
Trash & Debris	X			
Seepage	X			
Fencing or Benches				
Interior Landscaping/ Planted Areas:	<input type="checkbox"/> None	<input type="checkbox"/> Constructed Wetland Shallow Marsh	<input checked="" type="checkbox"/> Naturally Established Vegetation	
Vegetated Conditions	X			
Trash & Debris	X			
Floating Material	X			
Erosion	X			
Sediment	X			
Dead Plant	X			
Aesthetics	X			
Other				

Notes:

Facility Item	O.K.	Routine	Urgent	Comments
Water Pools:	<input type="checkbox"/> Permanent Pool (Retention Basin)	<input checked="" type="checkbox"/> Shallow Marsh (Detention Basin)	<input type="checkbox"/> None, Dry (Detention Basin)	
Shoreline Erosion	X			
Algae	X			
Trash & Debris	X			
Sediment	X			
Aesthetics	X			
Other				
Inflows (Describe Types/Locations): 24" ACP, concrete swale				
Condition of Structure	X			
Erosion	X			
Trash & Debris	X			
Sediment	X			
Outlet Protection		X		add rip-rap
Other		X		end of inflow is covered by a silt fence
Principal Flow control Structure - Riser, Intake, etc. (Describe Type): 3" PVC				
Condition of Structure	X			
Corrosion	X			
Trash & Debris	X			
Sediment		X		clean from top of pipe
Vegetation	X			
Other				
Principal Outlet Structure - Barrel, conduit, etc.: 3" PVC				
Condition of Structure	X			
Settlement	X			
Trash & Debris	X			
Erosion/Sediment	X			
Outlet Protection	X			
Other				
Emergency Spillway (Overflow):				
Vegetation	X			
Lining	X			
Erosion	X			
Trash & Debris	X			
Other				

Notes

Facility Item	O.K.	Routine	Urgent	Comments
Nuisance Type conditions:				
Mosquito Breeding	X			
Animal Burrows	X			
Graffiti	X			
Other				
Surrounding Perimeter Conditions:				
Land Uses	X			
Vegetation	X			
Trash & Debris	X			
Aesthetics	X			
Access/Maintenance Roads or Paths	X			
Other				

Remarks

Overall Stormwater Division Internal Rating:

Signature

Date

Title

BMP RECORD DRAWING

FOR

WILLIAMSBURG COMMUNITY CHAPEL

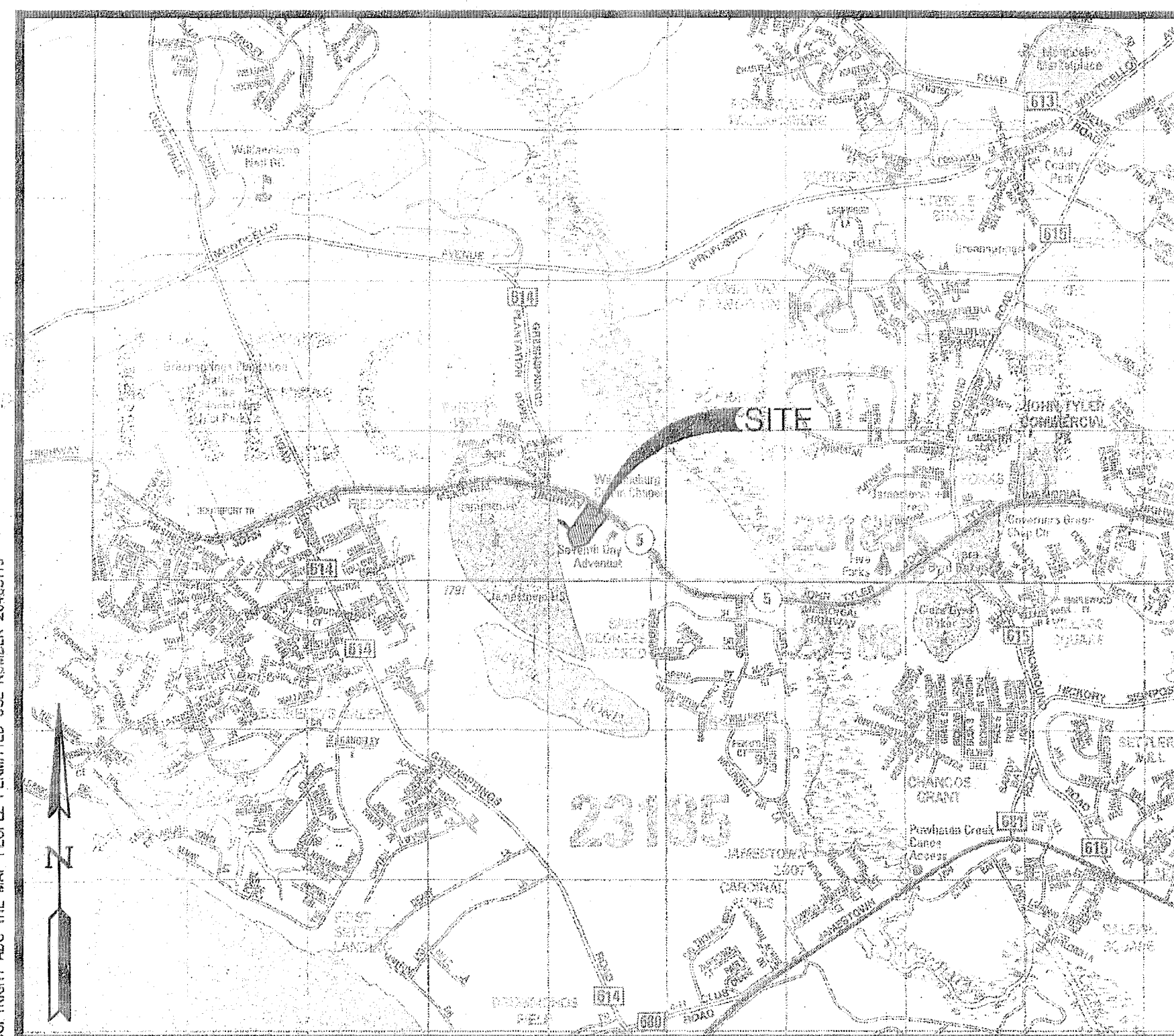
JAMES CITY COUNTY, VIRGINIA

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
WATER	W	DITCH/SWALE	
SANITARY SEWER	S	CONCRETE LINED DITCH	
STORM SEWER		EC-3 LINED DITCH	
FORCE MAIN	F.M.	EXISTING TREELINE	
MANHOLE		LIMITS OF CLEARING	
CURB DROP INLET		SILT FENCE	
YARD DROP INLET		INLET PROTECTION	
FLARED END SECTION		CHECK DAM	
VALVE		STRAW BALE BARRIER	
FIRE HYDRANT ASSEMBLY		RIP RAP	
BLOW-OFF VALVE		REVERSE ROLL TOP GUTTER	
AIR RELEASE ASSEMBLY		GROUND ELEVATION	
CLEAN OUT		PROPOSED TOP OF CURB ELEV.	
WATER METER		EXISTING CONTOUR ELEV.	
STREETLIGHT		PROPOSED CONTOUR ELEV.	
CENTERLINE/BASELINE			

GENERAL NOTES:

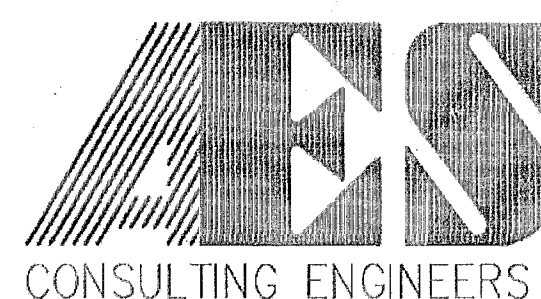
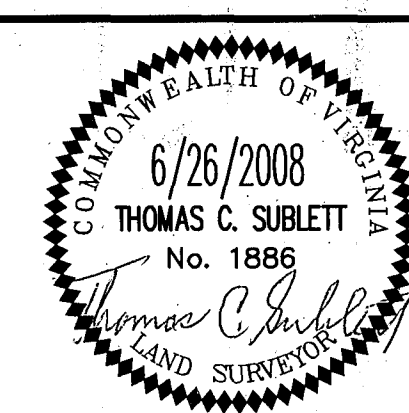
- ALL PROPOSED UTILITIES SHOWN ARE TO BE PLACED UNDERGROUND AS PER THE CURRENT JAMES CITY COUNTY ORDINANCES.
- THE CONTRACTOR SHALL CONTACT "MISS UTILITY" A MINIMUM OF 48 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON THE SITE. CALL 1-800-552-7001.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF CONSTRUCTION EFFORTS WITH THE DOMINION VIRGINIA POWER COMPANY, VERIZON TELEPHONE, APPROPRIATE CABLE COMPANY AND OTHERS.
- ALL SIGNS SHALL BE IN ACCORDANCE WITH ARTICLE II, DIVISION 3 OF THE JAMES CITY COUNTY ZONING ORDINANCE.
- STORM SEWER PIPE SHALL BE HDPE TYPE S, UNLESS OTHERWISE DESIGNATED.
- STORM STRUCTURES SHALL CONFORM TO THE VDOT ROAD AND BRIDGE STANDARDS AND VDOT SPECIFICATIONS. ALL MANHOLES SHALL INCLUDE INLET SHAPING (IS-1) AND MANHOLES DEEPER THAN 4 FEET SHALL HAVE STEPS (ST-1). PIPE BEDDING SHALL BE IN ACCORDANCE WITH VDOT PB-1 AND MANUP. SPECS/GUIDELINES.
- THE CONTRACTOR SHALL SATISFY HIMSELF AS TO ALL SITE CONDITIONS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF WORK TO INCLUDE, BUT NOT LIMITED TO, JAMES CITY COUNTY LAND DISTURBANCE AND VDOT CE-7.
- A PRECONSTRUCTION CONFERENCE SHALL BE HELD ON-SITE BETWEEN THE COUNTY, THE PROJECT ENGINEERS AND THE CONTRACTOR PRIOR TO ISSUANCE OF A LAND DISTURBING PERMIT.
- ALL WATER AND SANITARY SEWER FACILITIES MUST HAVE A 5 FOOT MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN IT AND ALL OTHER FIXED STRUCTURES, SUCH AS: DROP INLETS, FIRE HYDRANTS, LIGHT POLES, WATERLINE FACILITIES (SHALL BE A MINIMUM OF 10 FEET PER STATE HEALTH DEPARTMENT REGULATIONS)
- ALL COMPONENTS OF THE WATER DISTRIBUTION AND SANITARY SEWER SYSTEM SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH THE LATEST EDITION OF THE JAMES CITY SERVICE AUTHORITY STANDARDS AND SPECIFICATIONS FOR WATER DISTRIBUTION AND SANITARY SEWER SYSTEMS, THE HAMPTON ROADS PLANNING DISTRICT COMMISSION (HRPDC) REGIONAL STANDARDS, AND THE COMMONWEALTH OF VIRGINIA WATERWORKS AND SEWERAGE REGULATIONS. THE CONTRACTOR SHALL USE ONLY NEW MATERIALS, PARTS AND PRODUCTS ON ALL PROJECTS. ALL MATERIALS SHALL BE STORED SO AS TO ASSURE THE PRESERVATION OF THEIR QUALITY AND FITNESS FOR THE WORK. A COPY OF THE JCSA STANDARDS AND THE HRPDC REGIONAL STANDARDS MUST BE KEPT ON-SITE BY THE CONTRACTOR DURING THE FULL TIME OF INSTALLING, TESTING, AND CONVEYING THE FACILITIES TO JCSA.
- UNLESS OTHERWISE NOTED ALL GRAVITY SEWER (G.S.) IS TO BE P.V.C. PIPE.
- ANY EXISTING UNUSED WELLS SHALL BE ABANDONED IN ACCORDANCE WITH STATE PRIVATE WELL REGULATIONS AND JAMES CITY COUNTY CODE.
- JCSA SHALL BE GRANTED ACCESS EASEMENTS TO WATER AND SEWER LOCATED THROUGH THE PRIVATE DEVELOPMENT ROADWAYS.
- VDOT DOES NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF THE SIDEWALK AND SHALL BE SAVED HARMLESS FROM ANY DAMAGES.
- VDOT WILL HAVE NO MAINTENANCE RESPONSIBILITY FOR ANY DRAINAGE STRUCTURES, DETENTION PONDS AND STORM PIPING LOCATED OUTSIDE THE VDOT RIGHT-OF-WAY AND SHALL BE SAVED HARMLESS FROM ANY DAMAGE OR FAILURE OF THE STRUCTURES, PONDS, OR PIPING.
- NO IRRIGATION WELL(S) SHALL BE ESTABLISHED OR UTILIZED FOR ANY RESIDENTIAL UNIT PER THE PROFFERS FOR THIS DEVELOPMENT.
- WITHIN COMMON OPEN SPACE AREAS, ONLY THOSE AREAS NOTED AS NATURAL UNDISTURBED OPEN SPACE WILL QUALIFY AS BMP OPEN SPACE CREDIT.
- UNLESS OTHERWISE NOTED, ALL DRAINAGE EASEMENTS SHALL REMAIN PRIVATE.
- WETLANDS AND LAND WITHIN RESOURCE PROTECTION AREAS (RPA) SHALL REMAIN IN A NATURAL UNDISTURBED STATE EXCEPT FOR THOSE ACTIVITIES PERMITTED BY SECTION 23-7(c) OF THE JAMES CITY COUNTY CODE.
- NATURAL OPEN SPACE EASEMENTS SHALL REMAIN IN A NATURAL UNDISTURBED STATE EXCEPT FOR THOSE ACTIVITIES REFERENCED ON THE DEED OF EASEMENTS.
- ONLY JCSA PERSONNEL ARE AUTHORIZED TO OPERATE VALVES ON THE EXISTING JCSA WATER MAINS.
- SOLID WASTE SHALL BE COLLECTED AND PROPERLY DISPOSED OF BY PRIVATE HAULER.
- ANY EXISTING SEPTIC SYSTEMS THAT MAY BE LOCATED ON SITE MUST BE ABANDONED IN ACCORDANCE WITH STATE HEALTH DEPARTMENT REGULATIONS. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS CAN BE ACQUIRED FROM THE VIRGINIA DEPARTMENT OF HEALTH, WILLIAMSBURG OFFICE. TELEPHONE NUMBER: 757-253-4813
- VDOT DOES NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF THE BMP OR ITS STRUCTURES, AND SHALL BE SAVED HARMLESS FROM ANY DAMAGE.
- THE OWNER SHALL IMPLEMENT AN ANNUAL PERFORMANCE EVALUATION/INSPECTION OF THE BACKFLOW PREVENTION DEVICE AND COORDINATE WITH JOHN WILSON, JCSA UTILITY SPECIAL COORDINATOR, AT (757)259-4138. THE BACKFLOW PREVENTER SHALL BE TESTED, MAINTAINED AND OPERATED IN ACCORDANCE WITH JCSA STANDARDS.
- THE PLUMBING INSIDE THE BUILDING MUST BE INSPECTED BY MR. JOHN WILSON, JCSA UTILITY PROJECTS SPECIAL COORDINATOR (757)259-4138, FOR POTENTIAL CROSS CONNECTIONS. ANY CROSS CONNECTIONS MUST BE PROTECTED BY APPROPRIATE BACKFLOW PREVENTION DEVICE.
- PRIOR TO JCSA ACCEPTANCE OF THE WATER SYSTEM, ALL PERTINENT INFORMATION FOR THE FIRE METER VAULT WITH DETECTOR CHECK AND TOUCH PAD ON THE FIRE MAIN SHALL BE PROVIDED TO JCSA CUSTOMER SERVICES (253-6800) AND THE TOUCH PADS ARE VERIFIED FOR COMPATIBILITY WITH JCSA OPERATIONS AMR READERS (259-6094).



VICINITY MAP (APPROX. SCALE 1"=2000')

FEBRUARY 23, 2005
AES PROJECT NO.: 9151-02
SP-17-05

"THE BMP AND DRAINAGE STRUCTURE LOCATIONS AND GRADES SHOWN ON THESE DRAWINGS, ARE ACCURATE AND COMPLETE TO THE BEST OF MY KNOWLEDGE AND BELIEF AND I CERTIFY THAT I, OR MY AGENT, HAVE MADE SUFFICIENT INSPECTION TO ENSURE THE ACCURACY OF THIS STATEMENT."



5248 Olde Towne Road, Suite 1
Williamsburg, Virginia 23188
(757) 253-0040
Fax (757) 220-8994

INDEX OF SHEETS

SHEET NUMBER	DESCRIPTION
1	COVER SHEET
2	ENVIRONMENTAL INVENTORY
3	DEMOLITION PLAN
4	EROSION & SEDIMENT CONTROL PLAN
5	SITE LAYOUT AND UTILITY PLAN
6	WATERLINE PLAN & PROFILE
7	GRADING AND DRAINAGE PLAN
8	LANDSCAPE PLAN
9	LANDSCAPE AND LIGHTING NOTES AND DETAILS
10	NOTES AND DETAILS
11	NOTES AND DETAILS
12	STORMWATER NOTES AND DETAILS

SITE DATA:

ZONING: R-8
AREA OF SITE: 15.06 ACRES
IMPERVIOUS AREA: 8.74 ACRES (2.75 AC OF ADDITIONAL IMPERVIOUS COVER)
DISTURBED AREA: 9.95 ACRES
BUILDING AREA: 38,490 SQ.FT. (FUTURE EXPANSION NOT INCLUDED IN THIS PLAN)
SEATING CAPACITY: 2454 SEATS (2 SANCTUARIES; 1654 SEATS- NEW, 800 EXISTING)
FLOOD HAZARD MAP: FEMA PANEL NUMBER 510201 0045 B - ZONE X
AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD-PLAIN.
WATERSHED INFORMATION: THIS SITE IS SITUATED WITHIN THE TIDAL AND NON-TIDAL MAINSTEM OF THE POWHATAN CREEK WATERSHED
MAX. BUILDING HEIGHT: 53 FEET (AS ADOPTED PER SUP-27-04)

NUMBER OF PARKING SPACES: EXISTING PARKING TO REMAIN:
218 + 10 HANDICAP SPACES
228 TOTAL SPACES
PROPOSED PARKING:
481 + 10 HANDICAP SPACES
491 TOTAL SPACES
TOTAL PARKING PROVIDED:
699 TOTAL SPACES (20 HANDICAP)
TOTAL PARKING REQUIRED:
491 TOTAL SPACES (10 HANDICAP)

SETBACKS:
FRONT: 53' (INCREASE OF 18' BASED ON BUILDING HEIGHT)
SIDE: 33' (INCREASE OF 18' BASED ON BUILDING HEIGHT)
BACK: 53' (INCREASE OF 18' BASED ON BUILDING HEIGHT)

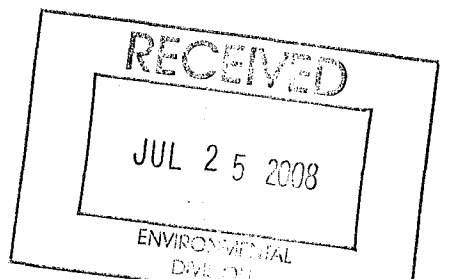
NOTE:
SUP-27-04 FOR THE BUILDING EXPANSION WAS APPROVED BY THE JAMES CITY COUNTY BOARD OF SUPERVISORS ON FEBRUARY 22, 2005.

OWNER INFORMATION

WILLIAMSBURG COMMUNITY CHAPEL
3899 JOHN TYLER HIGHWAY
WILLIAMSBURG, VIRGINIA 23185
CONTACT: ROB CAMELL, ADMINISTRATOR
PHONE: (757) 229-7152

RESPONSIBLE LAND DISTURBER:

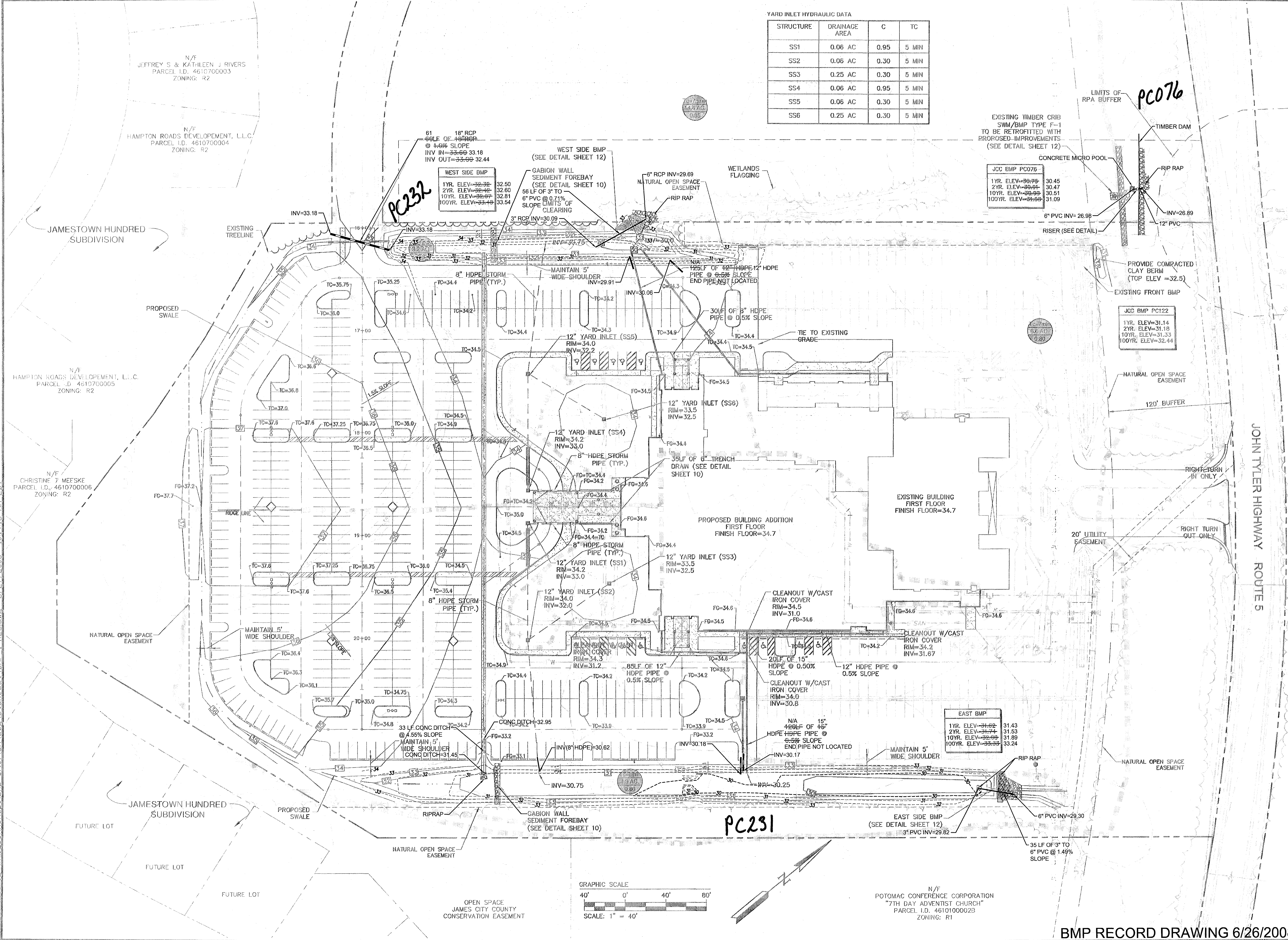
"THE PROFESSIONAL WHOSE SEAL IS AFFIXED HEREON SHALL ACT AS THE "RESPONSIBLE LAND DISTURBER" FOR PURPOSES OF PLAN APPROVAL ONLY. PRIOR TO ISSUANCE OF THE LAND DISTURBING PERMIT, THE OWNER OR DEVELOPER SHALL PROVIDE THE NAME OF A "RESPONSIBLE LAND DISTURBER" WHO SHALL ASSUME RESPONSIBILITY AS THE "RESPONSIBLE LAND DISTURBER" FOR THE CONSTRUCTION PHASE OF THE PROJECT. THE OWNER OR DEVELOPER SHALL PROVIDE WRITTEN NOTIFICATION SHOULD THE "RESPONSIBLE LAND DISTURBER" CHANGE DURING CONSTRUCTION."



NO.	DATE	REVISION / COMMENT / NOTE	REVIEWED BY	REVIEWED BY
3	10/20/05	REVISED PER JCC COMMENTS DATED 8/3/05	JAG	JAG
2	7/15/05	REVISED PER JCC COMMENTS DATED 6/14/05	JAG	JAG
1	4/27/05	REVISED PER JCC COMMENTS DATED 3/21/05	JAG	JAG

BMP RECORD DRAWING 6/26/2008

S:\Jobs\9151\02-VmBgCommChapelExp-SitePlan.dwg:Stakeout-BMP_1-REC.dwg 6/27/2008 10:41:15 AM EDT



YARD INLET HYDRAULIC DATA

STRUCTURE	DRAINAGE AREA	C	TC
SS1	0.06 AC	0.95	5 MIN
SS2	0.06 AC	0.30	5 MIN
SS3	0.25 AC	0.30	5 MIN
SS4	0.06 AC	0.95	5 MIN
SS5	0.06 AC	0.30	5 MIN
SS6	0.25 AC	0.30	5 MIN

	JAG		JAG		JAG		JAG		JAG
	REVISION	DATE	BY	REVISION	DATE	BY	REVISION	DATE	BY
1	8/29/07		JAG	2	5/10/07		JAG	3	5/10/07
4	7/12/08		JAG	5	6/26/08		JAG	6	6/26/08

5248 Old Towne Road, Suite 1
Williamsburg, Virginia 23188
(757) 253-0040
Fax (757) 220-8994

CONSULTING ENGINEERS
WILLIAMSBURG • RICHMOND

GRADING & DRAINAGE
PARKING LOT & FIRE LINE AMENDMENT
WILLIAMSBURG COMMUNITY
CHAPEL BUILDING EXPANSION
BERKELEY DISTRICT JAMES CITY COUNTY VIRGINIA

Designed	JAG	Drawn	JAG
Scale	1"=40'	Date	5/10/07
Project No.	9151-02	Drawing No.	6 AS-BUILT

BMP RECORD DRAWING 6/26/2008

S:\Jobs\9151002-WilliamsCommChapelExp-SitePlan.dwg\Stakeout\BMP-1-REC.dwg 6/27/2008 10:41:15 AM EDT

JAMES CITY COUNTY ENVIRONMENTAL DIVISION
EROSION AND SEDIMENT CONTROL NOTES
REVISED 7/6/01

THE PURPOSE OF THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS SHALL BE TO PRECLUDE THE TRANSPORT OF ALL WATERBORNE SEDIMENTS RESULTING FROM CONSTRUCTION ACTIVITIES FROM ENTERING ONTO ADJACENT PROPERTIES OR STATE WATERS. IF FIELD INSPECTION REVEALS THE INADEQUACY OF THE PLAN TO CONFINE SEDIMENT TO THE PROJECT SITE, ALL APPROPRIATE MODIFICATIONS WILL BE MADE TO CORRECT ANY PLAN DEFICIENCIES. IN ADDITION TO THESE NOTES, ALL PROVISIONS OF THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS SHALL APPLY TO THIS PROJECT.

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, 3RD EDITION, 1992. THE CONTRACTOR SHALL BE THOROUGHLY FAMILIAR WITH ALL APPLICABLE MEASURES CONTAINED THEREIN THAT MAY BE PERTINENT TO THIS PROJECT, INCLUDING MINIMUM STANDARDS 1 THROUGH 19. IF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS FOUND TO BE INADEQUATE IN THE FIELD, THE MINIMUM STANDARDS WILL APPLY IN ADDITION TO THE PROVISIONS OF THE APPROVED PLAN.

2. AS A PREREQUISITE TO APPROVAL OF AN EROSION AND SEDIMENT CONTROL PLAN FOR LAND-DISTURBING ACTIVITIES, THE NAME OF A RESPONSIBLE LAND-DISTURBER SHALL BE PROVIDED. THE RESPONSIBLE LAND-DISTURBER SHALL BE AN INDIVIDUAL WHO HOLDS A VALID CERTIFICATE OF COMPETENCE ISSUED BY THE VIRGINIA DEPARTMENT OF CONSERVATION AND IS DEEMED AS THE PERSON IN CHARGE OF AND RESPONSIBLE FOR CARRYING OUT THE LAND-DISTURBING ACTIVITY. PERMITS OR PLANS WITHOUT THIS INFORMATION ARE DEEMED INCOMPLETE AND WILL NOT BE APPROVED UNTIL PROPER NOTIFICATION IS RECEIVED. ALSO, IF THE PERSON DESIGNATED AS RESPONSIBLE LAND-DISTURBER CHANGES BETWEEN THE TIME OF PLAN APPROVAL AND THE SCHEDULED PRECONSTRUCTION MEETING, THE ENVIRONMENTAL DIVISION SHALL BE INFORMED OF THE CHANGE, IN WRITING, 24-HOURS IN ADVANCE OF THE PRECONSTRUCTION MEETING.

3. A PRECONSTRUCTION MEETING SHALL BE HELD ON SITE BETWEEN THE COUNTY, THE DEVELOPER, THE PROJECT ENGINEER, THE RESPONSIBLE LAND-DISTURBER AND THE CONTRACTOR PRIOR TO ISSUANCE OF THE LAND DISTURBER PERMIT. THE CONTRACTOR SHALL SUBMIT A SEQUENCE OF CONSTRUCTION TO THE COUNTY FOR APPROVAL PRIOR TO THE PRECONSTRUCTION MEETING. THE DESIGNATED RESPONSIBLE LAND-DISTURBER IS REQUIRED TO ATTEND THE PRECONSTRUCTION MEETING FOR THE PROJECT.

4. ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED BY A TEMPORARY CONSTRUCTION ENTRANCE TO PREVENT TRACKING OF MUD ONTO PUBLIC RIGHT-OF-WAYS. AN ENTRANCE PERMIT FROM VDOT IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN STATE RIGHT-OF-WAYS, WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE. THE ROAD SHALL BE THOROUGHLY CLEANED AT THE END OF EACH DAY (STD & SPEC 3.02).

5. SEDIMENT BASINS AND TRAPS (STD & SPEC 3.13 AND 3.14), PERMETER DIKES (STD & SPEC 3.09 AND 3.12), SEDIMENT FILTER BARRIERS (STD & SPEC 3.05) AND OTHER MEASURES INTENDED TO TRAP SEDIMENT ON-SITE MUST BE CONSTRUCTED AS A FIRST STEP IN GRADING AND MUST BE MADE FUNCTIONAL PRIOR TO ANY UPSLOPE LAND DISTURBANCE, PAVING, FILL, OR STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS MUST BE FIELDED AND MULCHED IMMEDIATELY AFTER INSTALLATION. PERIODIC INSPECTIONS OF THE EROSION CONTROL MEASURES BY THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE MADE TO ASSESS THEIR CONDITION. ANY NECESSARY MAINTENANCE OF THE MEASURES SHALL BE ACCOMPLISHED IMMEDIATELY AND SHALL INCLUDE THE REPAIR OF MEASURES DAMAGED BY ANY SUBCONTRACTOR INCLUDING THOSE OF THE PUBLIC UTILITY COMPANIES.

6. SURFACE FLOWS OVER CUT AND FILL SLOPES SHALL BE CONTROLLED BY EITHER REDIRECTING FLOWS FROM TRANSVERSING TO SLOPES OR BY INSTALLING MECHANICAL DEVICES TO SAFELY LOWER WATER DOWNSLOPE WITHOUT CAUSING EROSION. A TEMPORARY FILL DIVERSION (STD & SPEC 3.10) AND SLOPE DRAIN (STD & SPEC 3.15) SHALL BE INSTALLED PRIOR TO THE END OF EACH WORKING DAY.

7. SEDIMENT CONTROL MEASURES MAY REQUIRE MINOR FIELD ADJUSTMENTS AT TIME OF CONSTRUCTION TO INSURE THEIR INTENDED PURPOSE IS ACCOMPLISHED. ENVIRONMENTAL DIVISION APPROVAL WILL BE REQUIRED FOR OTHER DEVIATIONS FROM THE APPROVED PLAN.

8. THE CONTRACTOR SHALL PLACE SOIL STOCKPILES AT THE LOCATIONS SHOWN ON THE PLAN. SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. OFF-SITE WASTE OR BORROW AREAS SHALL BE APPROVED BY THE ENVIRONMENTAL DIVISION PRIOR TO THE IMPORT OF ANY BORROW OR EXPORT OF ANY WASTE TO OR FROM THE PROJECT SITE.

9. THE CONTRACTOR SHALL COMPLETE DRAINAGE FACILITIES WITHIN 30 DAYS FOLLOWING COMPLETION OF ROUGH GRADING AT ANY POINT WITHIN THE PROJECT. THE INSTALLATION OF DRAINAGE FACILITIES SHALL TAKE PRECEDENCE OVER ALL UNDERGROUND UTILITIES. OUTFALL DITCHES FROM DRAINAGE STRUCTURES SHALL BE STABILIZED IMMEDIATELY AFTER CONSTRUCTION OF THE SAME (STD & SPEC 3.18). THIS INCLUDES INSTALLATION OF EROSION CONTROL STONE OR PAVED DITCHES WHERE REQUIRED. ANY DRAINAGE OUTFALLS REQUIRED FOR A STREET MUST BE COMPLETED BEFORE STREET GRADING OR UTILITY INSTALLATION BEGINS.

10. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.

11. NO MORE THAN 300 FEET OF SANITARY SEWER, STORM DRAIN, WATER OR UNDERGROUND UTILITY LINES ARE TO BE OPEN AT ONE TIME. FOLLOWING INSTALLATION OF ANY PORTION OF THESE ITEMS, ALL DISTURBED AREAS ARE TO BE IMMEDIATELY STABILIZED (I.E., THE SAME DAY).

12. IF DISTURBED AREA STABILIZATION IS TO BE ACCOMPLISHED DURING THE MONTHS OF DECEMBER, JANUARY OR FEBRUARY, STABILIZATION SHALL CONSIST OF MULCHING (STD & SPEC 3.35). SEEDING WILL THEN TAKE PLACE AS SOON AS THE SEASON PERMITS.

13. THE TERM SEEDING, FINAL VEGETATIVE COVER OR STABILIZATION ON THIS PLAN SHALL MEAN THE SUCCESSFUL GERMINATION AND ESTABLISHMENT OF A STABLE GRASS COVER FROM A PROPERLY PREPARED SEEDBED CONTAINING THE SPECIFIED AMOUNTS OF SEED, LIME AND FERTILIZER (STD & SPEC 3.32). IRRIGATION SHALL BE REQUIRED AS NECESSARY TO ENSURE ESTABLISHMENT OF GRASS COVER.

14. ALL SLOPES STEEPER THAN 3H:1V SHALL REQUIRE THE USE OF EROSION CONTROL BLANKETS AND MATTINGS TO AID IN THE ESTABLISHMENT OF A VEGETATIVE COVER. INSTALLATION SHALL BE IN ACCORDANCE WITH STD. & SPEC. 3.35, MULCHING, STD. & SPEC. 3.36, SOIL STABILIZATION BLANKETS AND MATTING AND MANUFACTURER'S INSTRUCTIONS. NO SLOPES SHALL BE CREATED STEEPER THAN 2H:1V.

15. INLET PROTECTION (STD & SPEC 3.07 AND 3.08) SHALL BE PROVIDED FOR ALL STORM DRAIN AND CULVERT INLETS FOLLOWING CONSTRUCTION OF THE SAME.

16. TEMPORARY LINERS, SUCH AS POLYETHYLENE SHEETS, SHALL BE PROVIDED FOR ALL PAVED DITCHES UNTIL THE PERMANENT CONCRETE LINER IS INSTALLED.

17. PAVED DITCHES SHALL BE REQUIRED WHEREVER ACCELERATED EROSION IS EVIDENT. PARTICULAR ATTENTION SHALL BE PAID TO THOSE AREAS WHERE GRADES EXCEED 3 PERCENT.

18. TEMPORARY EROSION CONTROL MEASURES SUCH AS SILT FENCE ARE NOT TO BE REMOVED UNTIL ALL DISTURBED AREAS ARE STABILIZED. TRAPPED SEDIMENT SHALL BE SPREAD, SEEDED AND MULCHED. AFTER THE PROJECT AND STABILIZATION IS COMPLETE, ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS.

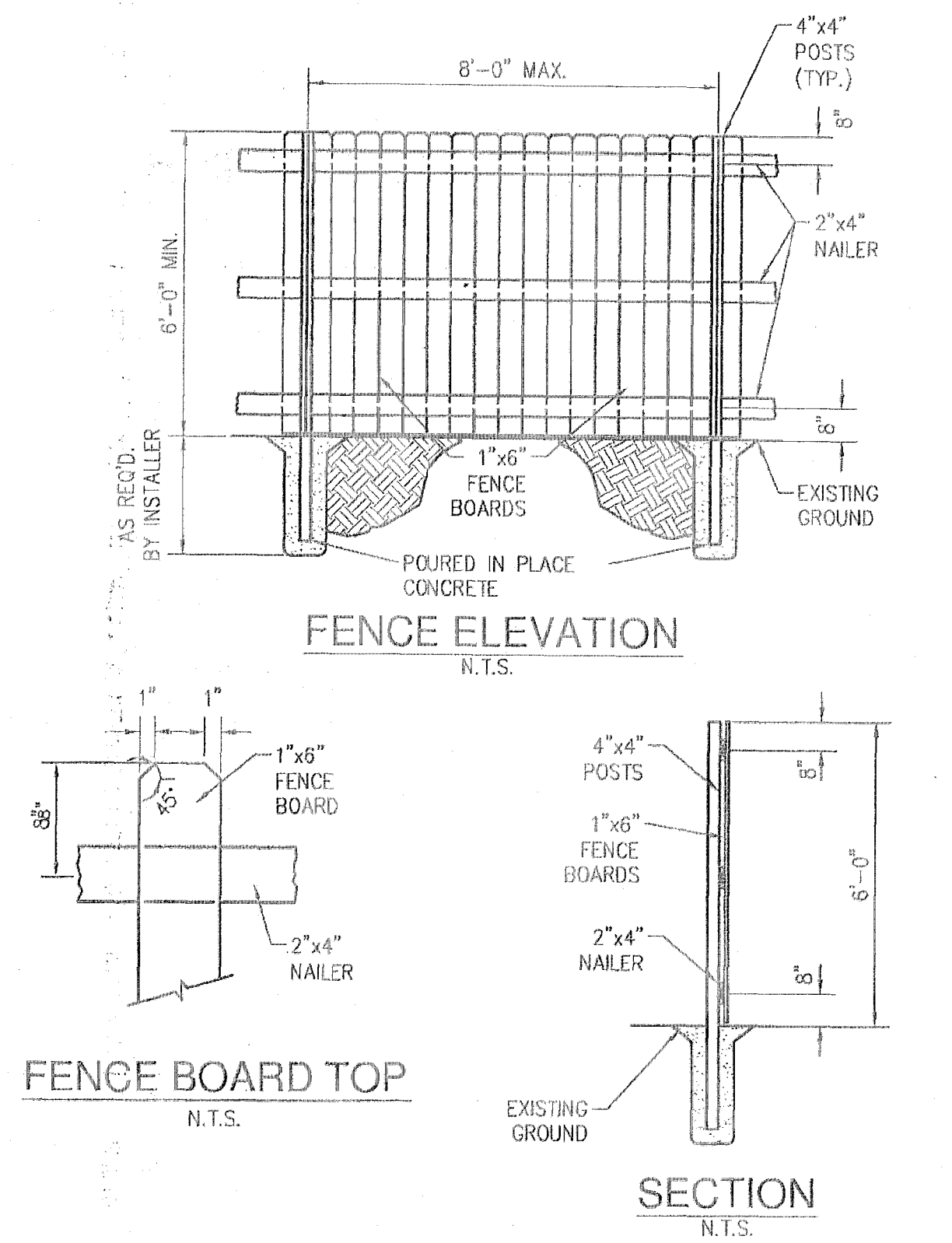
19. NO SEDIMENT TRAP OR SEDIMENT BASIN SHALL BE REMOVED UNTIL A) AT LEAST 75 PERCENT OF THE LOTS WITHIN THE DRAINAGE AREA TO THE TRAP OR BASIN HAVE BEEN SOLD TO A THIRD PARTY (UNRELATED TO THE DEVELOPER) FOR THE CONSTRUCTION OF HOMES AND/OR B) 60 PERCENT OF THE SINGLE FAMILY LOTS WITHIN THE DRAINAGE AREA TO THE TRAP OR BASIN HAVE BEEN COMPLETED AND THE SOIL STABILIZED. A BULK SALE OF THE LOTS TO ANOTHER BUILDER DOES NOT SATISFY THIS PROVISION. SEDIMENT TRAPS AND SEDIMENT BASINS SHALL NOT BE REMOVED WITHOUT THE EXPRESS AUTHORIZATION OF THE JAMES CITY COUNTY ENVIRONMENTAL DIVISION.

20. RECORD DRAWINGS (AS-BUILTS) AND CONSTRUCTION CERTIFICATIONS ARE BOTH REQUIRED FOR NEWLY CONSTRUCTED OR MODIFIED STORMWATER MANAGEMENT/BMP FACILITIES. CERTIFICATION ACTIVITIES SHALL BE ADEQUATELY COORDINATED AND PERFORMED BEFORE, DURING AND FOLLOWING CONSTRUCTION IN ACCORDANCE WITH THE CURRENT VERSION OF THE JAMES CITY COUNTY ENVIRONMENTAL DIVISION, STORMWATER MANAGEMENT/BMP FACILITIES, RECORD DRAWING AND CONSTRUCTION CERTIFICATION, STANDARD FORMS & INSTRUCTIONS.

21. DESIGN AND CONSTRUCTION OF PRIVATE-TYPE SITE DRAINAGE SYSTEMS OUTSIDE VDOT RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT VERSION OF THE JAMES CITY COUNTY ENVIRONMENTAL DIVISION, STORMWATER DRAINAGE CONVEYANCE SYSTEMS (NON-BMP RELATED), GENERAL DESIGN AND CONSTRUCTION GUIDELINES.

VDOT GENERAL NOTES
REVISED 09/04

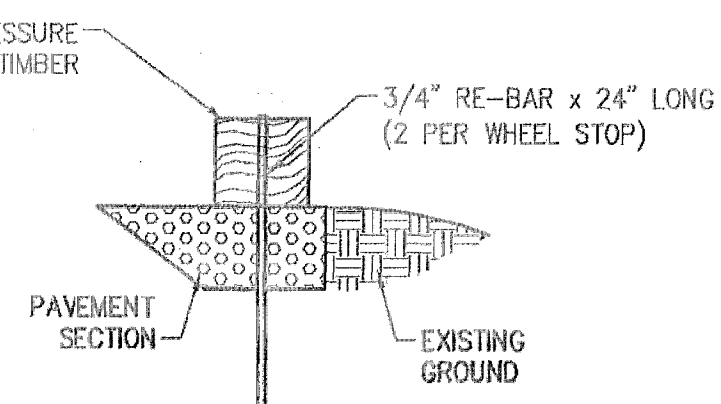
1. A Land Use Permit must be obtained from VDOT before any construction is started within the existing state right of way. Contact the VDOT Residency for the permit fee and bond amount. All Land Use Permit applications must have two (2) sets of approved plans, a check for the processing fee made payable to VDOT, and surety in the required amount.
2. The developer is responsible for the relocation of any utilities or pavement markings within the existing right of way or proposed right of way required by the development of the site/subdivision.
3. The developer is responsible for the cost of a traffic signal or any modifications to an existing traffic signal that are determined to be necessary. These costs will be charged under an Operational Project (Accounts Receivable) Number. Contact the VDOT Residency for the proper procedure.
4. Prior to any construction, the contractor shall consult with the developer's engineer to verify the final approval of the plans, or any revised plans, by the various agencies (County, VDOT, etc.).
5. VDOT approval of these plans will expire in five (5) years from the date of approval.
6. VDOT is to receive written notification 48 hours prior to the start of any work. A pre-construction meeting will be required prior to any land disturbance of the site. The developer, his engineer, geotechnical (soils) engineer, and contractor shall attend the pre-construction meeting. The developer's contractor shall have a proposed progress schedule of work.
7. Any errors, conflicts, or discrepancies found on the approved plans shall be reported to the developer's engineer and VDOT for resolution before proceeding further with the work.
8. The developer's engineer and contractor (sub-contractor) shall verify in the field the elevations of all points of connection of proposed work to existing curbs, sanitary sewer, storm sewer, drainage structures, waterlines, etc., prior to the construction in the field.
9. An Operational Project (accounts receivable) number may be assigned to the site/subdivision. The developer will be responsible for this by providing the necessary information requested by VDOT.
10. All materials and construction within the proposed public right of way, to include private entrances, shall be in accordance with the current VDOT specifications and standards.
11. Any request for a change of specified materials or design from the approved plans will need to be submitted to VDOT. A letter must accompany the proposed changes and revised plan sheets and/or drainage calculations for review and approval by the VDOT Resident Engineer.
12. The developer will be responsible for providing the Geotechnical (soils) Engineer. A professional engineer or professional geologist will submit a complete report with boring data and recommendations to VDOT for approval of his proposed method of construction. This report shall include print and soil values of the soils, moisture sensitive soils, slope analysis, dry and wet CBR values, standard proctor and Atterberg Limits. The report will show the bore locations, types of soils encountered, and stabilization recommendations for soils with poor support values, high moisture, mica, and silt content. The report shall include a pavement structural design recommendation based on laboratory tests of the actual soils and approved traffic volume for the site/subdivision in accordance with the latest VDOT *Pavement Design Guide for Subdivision and Secondary Roads in Virginia*.
13. When soils occur that are unsuitable for foundations, embankment fill, pipe backfill, subgrade, or other roadway purposes, the developer's contractor shall excavate said material under the direction of the developer's soils engineer, by undercutting such material below the proposed grades shown on the plans. The contractor shall notify the developer's engineer and VDOT upon the discovery of the unsuitable material. Concurrence of the engineer shall be obtained before additional work is undertaken.
14. All erosion and sediment control measures shall be the responsibility of the contractor. All erosion control measures will be in place and reviewed by the contractor daily and after of inclement weather to insure compliance for the control of any erosion and siltation. Any corrections or repairs shall be made in accordance with Road and Bridge Specifications. VDOT requires an individual, certified by the Virginia Department of Conservation and Forestry, holding a Responsible Land Disturber Certification, to be in charge of the land disturbing activity and on the work site at all times.
15. The contractor and subcontractor(s) shall have a copy of the current VDOT *Road and Bridge Specifications* and the VDOT *Road and Bridge Standards*. The contractor shall have at least one (1) set of approved plans with all approved revisions. The Land Use Permit will be at the site at all times.
16. The contractor shall be responsible for locating and protecting all underground and overhead utilities, whether or not they are shown on the plans. The contractor will be responsible for repairs at his own expense of any utilities damaged by his construction methods. MISS UTILITY must be contacted at 1-800-552-VDOT at least 72 hours prior to the commencement of construction.
17. The contractor will be responsible for replacing, with matching materials, any pavement, curb and gutter, driveway, pipe, sidewalk, etc. that are damaged during the construction of the site/subdivision.
18. Certification and source of materials are to be submitted to VDOT. All materials must meet VDOT specifications and standards.
19. The developer's Geotechnical Engineer and/or his certified materials technicians will perform compaction (density) tests for review by VDOT. All tests will be performed in accordance with the current VDOT specifications and standards. Backfill material for pipe, structures, and utilities located within the proposed right of way will be compacted and tested as the fill material is placed in uniform lifts. A minimum of 95% density with the soils moisture sensitive soils, slope analysis, dry and wet CBR values, standard proctor and Atterberg Limits. For the final 6" of the finished subgrade, 100% density will be obtained. The test results will be submitted to VDOT for review and compliance of the materials, prior to the developer's contractor requesting an inspection for a proof roll on the subgrade, aggregate stone, base mix (asphalt) or the placement of the surface mix.
20. All drainage easements shall be labeled as either "Drainage Easements" or "County Drainage Easements" and shall not be dedicated to VDOT or become the responsibility of VDOT. VDOT does not accept responsibility for the maintenance of the detention/retention pond or its structure, and shall be saved harmless from any damages.
21. Temporary drainage measures will be maintained by the contractor during construction to relieve areas that may cause damage to the right of way, roadway, or adjacent properties.
22. Dry gutter (rip rap) is not allowed in the ditches on VDOT right of way.
23. All storm sewer pipes shall be reinforced concrete pipe (tongue and groove) in accordance with ASTM-C-76 or an alternative that has been approved on the plans.
24. Installation of pipe culverts, storm sewers, and drainage structures shall have bedding material placed under the pipes and structures in accordance with VDOT specifications (a minimum of 4" under pipes and a minimum of 6" under drainage structures). The backfill material shall be suitable material free of debris, silt, tree roots (organic material), and excess moisture. The fill material will be compacted in uniform lifts and tested for density.
25. All vegetation (organic material, roots, stumps) and overburden are to be removed from the shoulders prior to the construction of the road's subgrade.
26. All concrete shall be Class A3-AE (3000PSI with air entrained additive) and tested by the developer's Geotechnical Engineer for conformance to VDOT specifications and standards.
27. There shall be a minimum of 6" of compacted 21-3 aggregate material or stone depth shall match the existing pavement typical under the curb and gutter and back of the curb and gutter. Density tests shall be taken prior to a proof roll of the material and placement of the curb and gutter. Underdrains will be installed on raised curb medians in accordance with current VDOT specifications and standards.
28. All streets with curb and gutter shall have a standard CG entrance installed in accordance with the current VDOT *Road and Bridge Specifications and Standards*. The curb and gutter pan shall be removed prior to the installation of the entrance unless a wipe-down of the curb was made during the installation of the curb and gutter. The saw cutting and removal of only the curb portion is not allowed. It is the developer's responsibility to insure that the builders have installed all concrete entrances in accordance with VDOT specifications and standards.
29. All underground utilities are to be in place prior to the placement of the base material and shall have a minimum covering of 36". On curb and gutter streets, the area directly behind the curb to the right of way line shall be relatively flat at the private entrance location. The developer's contractor should cut embankments to the right of way line prior to the installation of all underground utilities to insure a minimum 36" of cover.
30. The sub-base and/or base material shall have a roller pattern and a control strip with denatlas performed on the material and the test results submitted to VDOT prior to the proof roll of the material and the placement of the asphalt (Hot Mix) course. The material shall be at finished grade, have the template as shown on the pavement typical, and have a stone depth and proof roll performed by VDOT and the developer's soils engineer. Density (compaction) tests will be performed using a roller pattern and a control strip in accordance with current VDOT specifications and standards to acquire the theoretical density of the material. Optimum moisture shall come from the supplier of the material. Any yield material must be corrected prior to the placement of the Hot Mix (asphalt). The Hot Mix shall be placed within 72 hours after the proof roll has been completed satisfactorily. Any significant re-fill prior to the placement of the prime coat and/or Hot Mix will require another proof roll to insure the material is stabilized and non-yielding.
31. In accordance with Section 311 of the VDOT *Road and Bridge Specifications*, a prime coat of .30 gal. /sq. yd. will be required for any pavement typical with less than 4" of Hot Mix prior to the placement of the surface course.
32. All Hot Mix (asphalt) courses shall be placed in accordance with Section 315 of the current VDOT *Road and Bridge Specifications*. The weather limitations of a 40° F surface temperature or 50° F and rising air temperature shall be followed. The developer's Geotechnical Engineer shall test the material to insure conformance with current VDOT specifications and the supplier's job mix design. The developer's Geotechnical Engineer shall also perform a roller pattern and a control strip for the theoretical density (compaction) of the material in conformance with the current VDOT specifications.
33. All utility cabinets, pedestals, and streetlights shall be located in accordance with clear zone requirements, as noted in the Road Design Manual. There shall not be any cabinets, pedestals, or fire hydrants located on the shoulder.
34. All storm pipe, drop inlet structures, ditches, and curb and gutter shall be cleaned of debris and silt during the last stages of construction.
35. Flowers, shrubs, and trees shall not be placed within the proposed right of way by the developer or homeowner without an approved set of plans and an approved planting agreement. No irrigation (sprinkler) systems shall be located within the proposed right of way. Any irrigation system found within the right of way will be removed prior to the acceptance of the streets and all costs will be borne by the owner. No brick columns, enclosures, and/or brick mailboxes will be constructed or installed in the proposed right of way. Any of the above items found in the proposed right of way will be removed, and all costs of the removal will be borne by the owner and/or developer. The developer is responsible for installing mailbox posts.
36. No easements shall encroach upon the proposed right of way, any easements located within the proposed right of way must be removed from the plot prior to the recordation of the plat. A Used of Quit Claim will be required on any easements located within the proposed right of way prior to the acceptance of the streets into the State Secondary Road system.
37. Contact Mr. Sal Sibilla 72 hours in advance of all pavement markings/sign installations at (757) 925-1679. Failure to do so may result in additional cost to the developer.
38. Contact Traffic Engineering at (757) 925-2693 a minimum of 48 hours in advance whenever an open cut or boring of a utility line across a road is within 400 feet of a traffic signal, so the lines can be marked. Failure to do so could be a costly repair for the developer.



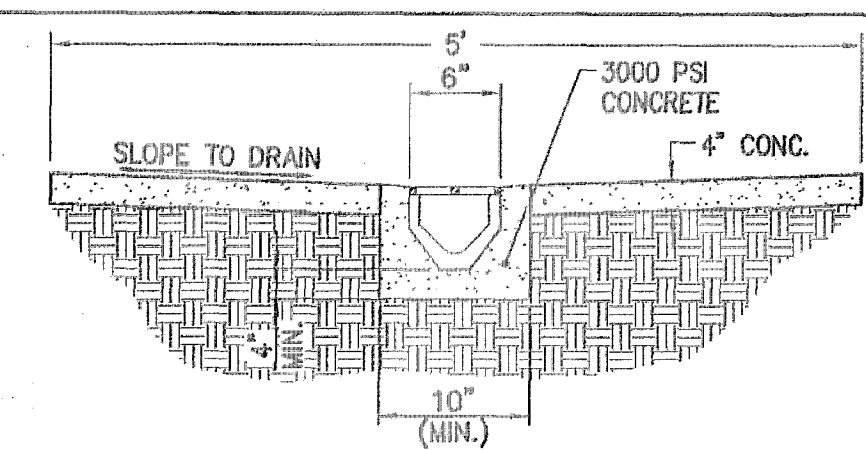
NOTE:
1. FENCE MAY BE CONSTRUCTED FROM WOOD OR PVC.
2. POSTS TO BE SALT TREATED GROUND CONTACT GRADE LUMBER. ALL OTHER MATERIALS TO BE SALT TREATED.

pc076

FENCE DETAIL
N.T.S.

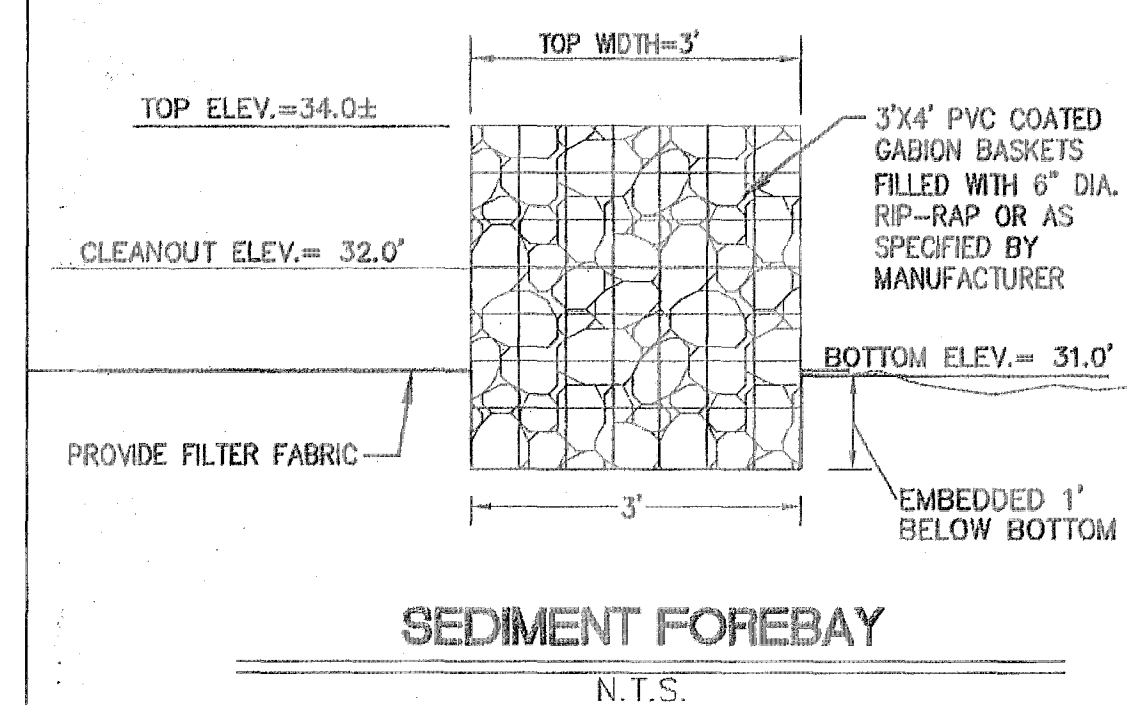


TIMBER WHEEL STOP DETAIL
N.T.S.



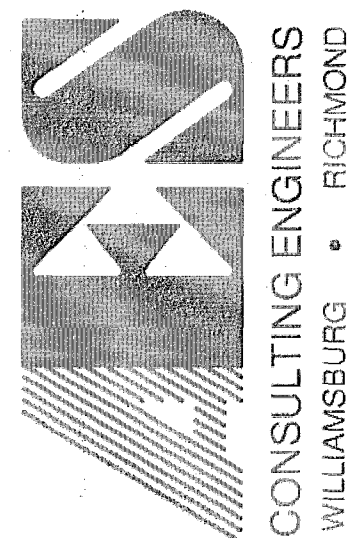
NOTE: TRENCH DRAIN SHALL BE 6" WIDE WITH MINIMUM 0.75% INTERNAL SLOPE (SURN Z-886 OR APPROVED EQUAL)

TRENCH DRAIN DETAIL
NOT TO SCALE



DESIGNED	DRAWN	CHECKED	DATE
JAG	JAG		
Scale	Date		
N/A	5/10/07		
Project No.	9151-02		
Drawing No.			
10 AS-BUILT			

5248 Old Towne Road, Suite 1
Williamsburg, Virginia 23188
(757) 263-0040
Fax (757) 220-8994



CONSULTING ENGINEERS
WILLIAMSBURG • RICHMOND

NOTES AND DETAILS
PARKING LOT & FIRE LINE AMENDMENT
WILLIAMSBURG COMMUNITY
CHAPEL BUILDING EXPANSION
JAMES CITY COUNTY
BERKELEY DISTRICT
VIRGINIA

Designed	JAG	Drawn	JAG
Scale	N/A	Date	5/10/07
Project No.	9151-02		
Drawing No.			
10 AS-BUILT			

BMP RECORD DRAWING 6/26/2008

